



EVALUATION AND REPORT

Department of Planning & Community Development

PROJECT #: CA.16.4398 La Mesa De La Casa
TO: Architectural Review Board
FROM: Christopher M. Gratz, AICP, Development Services & Zoning Manager
DATE: 12/5/2016
APPLICANT: John A. Ziemnicki, A.I.A, agent for Leach and Leach, Inc., owner
WARD: 3, Patrick Roff

CASE SYNOPSIS:

Applicant's Request: Certificate of Appropriateness for exterior renovations
Location: 320 Old Main Street (12th Street West)
Zoning: T5, Urban Center, Downtown Historic Overlay District
Staff Recommendation: Approval

APPLICANT'S REQUEST: Certificate of Appropriateness for installing a new rear entrance, replacement of garage doors with storefront windows and doors. The application does not include signage, as was advertised.

LOCATION OF SUBJECT PROPERTY: Generally located at the northwest corner of Old Main Street and 4th Avenue West; 320 Old Main Street (12th Street West), Bradenton, FL 34205, Parcel Identification Number 3295300002; Neighborhood 1.01.

CHARACTERISTICS OF THE SUBJECT PROPERTY: The Florida Master Site File indicates that the site name is the Bakery Building constructed in 1910 on property owned by E. J. Vanderipe. Some may know this as The Leach Building, named for the former owner Bradenton Mayor Albert Knight Leach who had offices here.

This is one of the most significant early-twentieth century commercial buildings in this area of the downtown business district, retaining a corbeled brick cornice and segmentally arched windows on the second level. Alterations to the main level detract heavily and include an addition to the north and the removal of a single-story attachment at the southwest corner which originally housed the oven.

During the late 1910's and early 1920's, the structure was the location of the Bradenton Board of Trade as well as some professional offices. By 1926, the building served as the Union Bus Station and hosted the Gulf Coast Motor Line, the Yellow Cab Car Company, and several small retail establishments. During the 1930's, the building housed the Gulf State Printing Corporation, Gerver's Publications, Inc. and the Commonwealth Publishing Co. It was occupied by the Franklin Press, and beginning in 1977 it served Carousel Antiques which was operated by Shelia Leach.

PROPOSED BUILDING MODIFICATIONS: The 1st floor of the building is being converted into a restaurant with a bar and also has an outdoor patio seating area. The garage is being converted into a kitchen. The Fire Marshall is requiring a secondary means of egress from the outdoor area that does not go through the kitchen, therefore an opening is being cut into the rear of the building. What is subject to review is:

- New rear door on the main structure and the design of the opening.
- New storefront windows and doors on the garage, and the design of the opening.

The plans indicate:

- The new rear door has a brick archway that is compatible with the archway over the side door. Proposed is a new storefront fiberglass door to be painted the same green that is on the building's trim now. The other existing side door is wood with a transom window.
- The modification of the garage doors and opening has a brick archway that is compatible with the archway over the windows that are on the front of the building, it does not have a matching window sill. The storefront windows have grid pattern muntins that match the other 1st floor windows with the exception of a sliding service window. The materials of the new windows and doors are different from what exists on the building with the new being metal and fiberglass, and the existing being wood.

Secretary of the Interior's Standards for Rehabilitation, Alterations/Additions for the New Use

Recommended: Designing and installing additional windows on rear or other-non character-defining elevations if required by the new use. New window openings may also be cut into exposed party walls. Such design should be compatible with the overall design of the building, but not duplicate the fenestration pattern and detailing of a character-defining elevation.

Not Recommended: Installing new windows, including frames, sash, and muntin configuration that are incompatible with the building's historic appearance or obscure, damage, or destroy character-defining features

ANALYSIS: The proposed design is consistent with the Secretary of the Interior's Standards for Rehabilitation. The new opening designs, windows, and doors are compatible with the overall design of the building, and do not represent an exact duplication.

ATTACHMENTS:

Application
Florida Master Site File Information
Letter of Request
Letter of Improvements
Photographs
Colored elevation
Plans

STAFF RECOMMENDATION:

APPROVAL of CA.16.4398 La Mesa De La Casa

ARCHITECTURAL REVIEW BOARD DECISION: December, 5, 2016



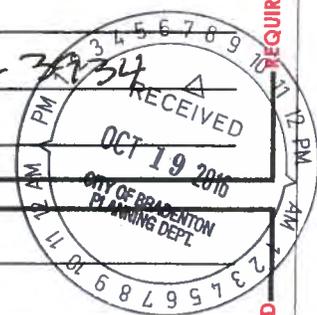
Certificate of Appropriateness Application

Department of Planning & Community Development
 101 Old Main Street, Bradenton, FL 34205
 Ph: (941) 932-9402 Fax: (941) 932-9534
www.cityofbradenton.com

Handwritten initials

CONTACT INFORMATION

Name of Property Owner: LEACH & LEACH, INC.
 Owner Address: 1335 2ND ST SARASOTA, FL 34236 Telephone: (941) 951-1776
 Name of Agent: John A Ziemnicki
 Agent Address: 4301 32ND ST - W D-5 BRADENTON, FL 34205 Telephone: 941-755-2254
 Owner (Agent) Email: John@WJArchitects.com



PROPERTY INFORMATION

Property Address: 320 12TH Street West
 Parcel ID: 3295300002
 Zoning District: T-5 URBAN CENTER
*click to view [Zoning map](#)
 Select Historic District: Historic District West

EXT. COND.

Current Use of Property: VACANT
 Master Site File Number, if applicable: _____

MATERIALS FOR REVIEW

Before submitting an application to the City of Bradenton, please check with the Department of Planning & Community Development to verify all essential information for review is present. Incomplete applications will delay the review process. Include one (1) electronic copy (pdf) of the Application and all support materials.

- ▶ Certificate of Appropriateness Application
- ▶ Application Fee: \$400
- ▶ Twenty (20) copies, Letter of Request
- ▶ Twenty (20) copies, Describe character of building in its present condition, include window treatment, ceiling, roof, etc.
- ▶ Twenty (20) copies, Color photos of existing building
- ▶ Twenty (20) copies, Describe changes to made and/or work to be done
- ▶ Twenty (20) copies, Color renderings of the proposed project in 8.5x11 format
- ▶ Twenty (20) copies, Construction plans if applicable
- ▶ Material samples and swatches
- ▶ Twenty (20) copies, Master Site File information

SIGNATURE

The owner of this property and the undersigned agree to conform to all applicable laws of the City of Bradenton and to all applicable Federal, State and County laws.

Signature of Applicant _____ Date _____

CITY STAFF ONLY

Application Fees:
 Fee Required: \$400
 FEE COLLECTED: \$ 400.00
 RECEIPT #: 006817-0004

Application Sufficiency:
 Sufficient:
 Incomplete: CA
 APPLICATION #: 1604398

REQUIRED

ARCHITECTURAL REVIEW BOARD:

REVIEW DATES - TO BE COMPLETED BY CITY STAFF



Agent Authorization Form

Department of Planning & Community Development
101 Old Main Street, Bradenton, FL 34205
Ph: (941) 932-9400
www.cityofbradenton.com

PLANNING & ZONING AGENT AUTHORIZATION FORM

Property Address: 320 12th Street West

I, LEACH & LEACH, INC, the registered property owner(s) of the above noted property, do hereby authorize

John A. Ziemnicki

World Design, Inc.

Print Name of Agent

Company Name

to act on my behalf and take all actions necessary for the processing, issuance and acceptance of this permit or certification and any and all standards and conditions applicable.

Signature of Owner(s)

LEACH & LEACH, INC 1335 2ND ST, SARASOTA, FL
Owner(s) Address (if different than property above) 34236

Signature of Agent

Joe R. Humber
4301 32nd Street West Bradenton, FL 34205 941-755-3934

Agent Address and Phone

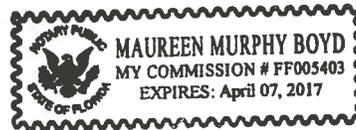
STATE OF FLORIDA, MANATEE COUNTY

The Foregoing instrument was acknowledged before me this 10th day of October,
produced (known to me) respectively, as

as identification and who did (did not) take an oath:

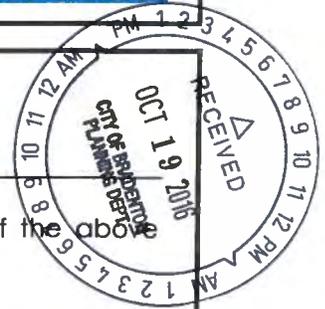
Maureen Murphy Boyd
Signature

Maureen Murphy Boyd, Notary Public
Print Name



State of Florida
My Commission Expires: April 7, 2017

CA.
Permit # 164398



AGENT AUTHORIZATION

REQUIRED

NOTARY

REQUIRED

WORLD DESIGN, INC.

4301 32nd Street West
Suite D-5
Bradenton, Florida 34205
(941) . 755 . 3934
(941) . 756 . 6869 Fax



AA C001570 • AR0012518
Architecture • Engineering
Land Planning • Space Planning
Development • Est. 1979
E-mail: JZiemnicki@AOL.Com

October 19th, 2016

Mr. Chris Gratz
City of Bradenton
101 Old Main Street
Bradenton, Florida 34205

Re: 320 12th Street
Letter of Request

Dear Mr. Gratz,

The following shall be noted;

This is a letter of Request for approval and a Certificate of Appropriateness for Mr. Bennett's request to open a Mexican Restaurant at the above mentioned address in the City of Bradenton.

This request is for approval of adding an additional egress door on the East side of the building. The new door will match the existing entrance doors both in style and color.

The character of the building will not change. It is painted white with green entrance doors. The copper canopy will remain. The building is a partial two story with apartment above on the southern side. The northern half is single story. Building has a flat roof in good condition. The window treatment is clear fixed glass with a square trim pattern. The main entrance to the building is recessed on the southeast corner.

The interior spaces inside have a lay-in ceiling in the east rooms and the rear room has a vaulted drywall ceiling that is to remain. The garage area is in disrepair with 60% of the ceiling gone. The garage doors are in poor shape along with the masonry wall and beam over one of the doors. The exterior slab at the garage is broken and has areas missing.

The apartment upstairs needs some repair of drywall and paint. The air conditioning systems both up and down stairs are in need of replacement.

If you should have any questions, please feel free to call upon us at any time.

Sincerely,

A handwritten signature in blue ink, appearing to read 'John A. Ziemnicki', with a long horizontal line extending to the right.

John A. Ziemnicki, AIA, ALA, NCARB
Architect/President
JAZ/tbj
COB Mex Res

CA.16.4398

WORLD DESIGN, INC.

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Suite D-5
Bradenton, Florida 34205
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E-mail: JZiemnicki@AOL.Com

October 19th, 2016

Mr. Chris Gratz
City of Bradenton
101 Old Main Street
Bradenton, Florida 34205

Re: 320 12th Street
Letter of Improvements



Dear Mr. Gratz,

The above mentioned building shall have the following improvements;

1. The front room off the main entrance shall be remodeled to include a bar area and open seating. The existing lay-in ceiling shall remain. The ceiling height in this area is high which allows us to keep the lay-in ceiling at its original height.
2. The northern room from the main entrance shall be a dining area with booths and open table seating. The old lay-in ceiling in this area shall be removed and the room shall have a painted drywall ceiling. This is due to the existing ceiling height of the single story area. A new egress door to be added in east wall at northern most window at the request of City of Bradenton. This door is not required per code, but mandated per COB Fire Marshall due to outdoor patio area being close to the road.
3. The area behind the bar has an existing restroom and shall be used to install a new ADA restroom for the restaurant requirements. The existing restroom is conforms to ADA requirements. This area also shall serve as an office area and exterior egress to new courtyard seating area.
4. The vaulted ceiling room north of restrooms shall be an additional dining area. No changes to this room other than paint and replace existing lighting with new fixtures and ceiling fans.
5. The final area is the old garage which shall become the new kitchen area serving the dining rooms and outdoor patio. This area shall have new attic insulation and drywall ceiling. All new plumbing for the kitchen area. A new hood system over the cooking area per FBcode. The outdoor patio areas west side shall have a fenced in area for the trash area, can wash and grease traps below grade.

If you should have any questions, please feel free to call upon us at any time.

Sincerely,

John A. Ziemnicki, AIA, ALA, NCARB
Architect/President
JAZ/tbj
COB Mex Res1

CA.16.4398

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 ==
1009 ==

Site Name Bakery Building 830 == Site No. MA 1311
Address of Site: 320 12th St. W., Bradenton, FL. Survey Date 8209 820 ==
Instruction for locating N.W. Corner of Manatee Ave. W. and 8th Ave. W. 805 ==

Multi-list
MA 304

Location: Turner Plat of Bradenton/SE 1/4 of Lot 16 813 ==
subdivision name block no. lot no. 868 ==

County: Manatee 808 ==

Owner of Site: Name: Leach and Leach
Address: 3620 Manatee Ave. W.
Bradenton, FL 33505 902 ==

Type of Ownership Corporate 848 == Recording Date 832 ==

Recorder:
Name & Title: Mark Thomsen, Historical Record Library
Address: 1405 4th Ave. W.
Bradenton, FL 33505 818 ==

Condition of Site: Integrity of Site: Original Use Commercial 838 ==

Check One	Check One or More	Present Use <u>Commercial</u> 850 ==
<input checked="" type="checkbox"/> Excellent 883 ==	<input checked="" type="checkbox"/> Altered 858 ==	Dates: Beginning <u>+ 1910</u> 844 ==
<input type="checkbox"/> Good 883 ==	<input type="checkbox"/> Unaltered 858 ==	Culture/Phase <u>American</u> 840 ==
<input type="checkbox"/> Fair 883 ==	<input checked="" type="checkbox"/> Original Site 858 ==	Period <u>20th Century</u> 845 ==
<input type="checkbox"/> Deteriorated 883 ==	<input type="checkbox"/> Restored () (Date: <u>X</u>) 858 ==	
	<input type="checkbox"/> Moved () (Date: <u>X</u>) 858 ==	

NR Classification Category: District 916 ==

Threats to Site:
Check One or More

<input type="checkbox"/> Zoning (<u>X</u>) 878 ==	<input type="checkbox"/> Transportation (<u>X</u>) 878 ==
<input type="checkbox"/> Development (<u>X</u>) 878 ==	<input type="checkbox"/> Fill (<u>X</u>) 878 ==
<input checked="" type="checkbox"/> Deterioration (<u>X</u>) 878 ==	<input type="checkbox"/> Dredge (<u>X</u>) 878 ==
<input type="checkbox"/> Borrowing (<u>X</u>) 878 ==	
<input type="checkbox"/> Other (See Remarks Below): 878 ==	

Areas of Significance: Architecture 910 ==

Significance: The Bakery Building, constructed in 1910 on property owned by E. J. Vanderipe, is one of the most significant early-twentieth century commercial buildings in this area of the downtown business district retaining a corbeled brick cornice and segmentally arched windows on the second level. Alterations to the main level detract heavily and include an addition to the north and the removal of a single-story attachment at the southwest corner which originally housed the oven.

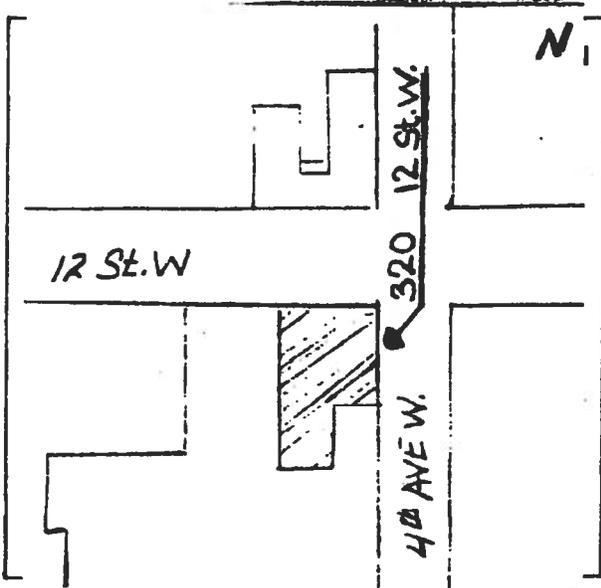
During the late 1910's and early 1920's, the structure was the location of the Bradenton Board of Trade as well as some professional offices. By 1926 the building served as the Union Bus Station and hosted the Gulf Coast Motor Line, the Yellow Cab Car Co., and several small retail establishments. During the 1930's the building housed the Gulf State Printing Corporation, Gervers Publications, Inc., and the Commonwealth Publishing Co. In recent years the structure was occupied by the Franklin Press, and since 1977 it has served Carousel Antiques.

911 ==



47

ARCHITECT _____ 872 ==
 BUILDER _____ 874 ==
 STYLE AND/OR PERIOD Early 20th Century Commercial Vernacular 964 ==
 PLAN TYPE Rectangular, irregular 966 ==
 EXTERIOR FABRIC(S) Masonry, brick 854 ==
 STRUCTURAL SYSTEM(S) Masonry, btick 856 ==
 PORCHES _____ 942 ==
 FOUNDATION: Brick, Bell footing 942 ==
 ROOF TYPE: Flat 942 ==
 SECONDARY ROOF STRUCTURE(S): _____ 942 ==
 CHIMNEY LOCATION: _____ 942 ==
 WINDOW TYPE: Metal, DHS 1/1 (new aluminum) 942 ==
 CHIMNEY: _____ 882 ==
 ROOF SURFACING: _____ 882 ==
 ORNAMENT EXTERIOR: Masonry, corbelled parapet 882 ==
 NO. OF CHIMNEYS 952 == NO. OF STORIES 2 950 ==
 NO. OF DORMERS _____ 954 ==
 Map Reference (Incl. scale & date) _____ 809 ==
 Latitude and Longitude: _____ 800 ==
 Site Size (Approx. Acreage of Property): _____ 833 ==



Township	Range	Section	
34S	17E	26	812 ==

UTM Coordinates: _____ 890 ==
 Zone _____ Easting _____ Northing _____

Photographic Records Numbers _____ 860 ==

Contact Print

~~221~~

48

CONTINUATION SHEET

Despite the remodeling, some of which occurred in 1976 - 1977, the structure remains one of the most noticeable in the vicinity.

~~221~~

48

Bradenton

RUSKIN 19 MI.
PALMETTO (U.S. 301) 1.5 MI.

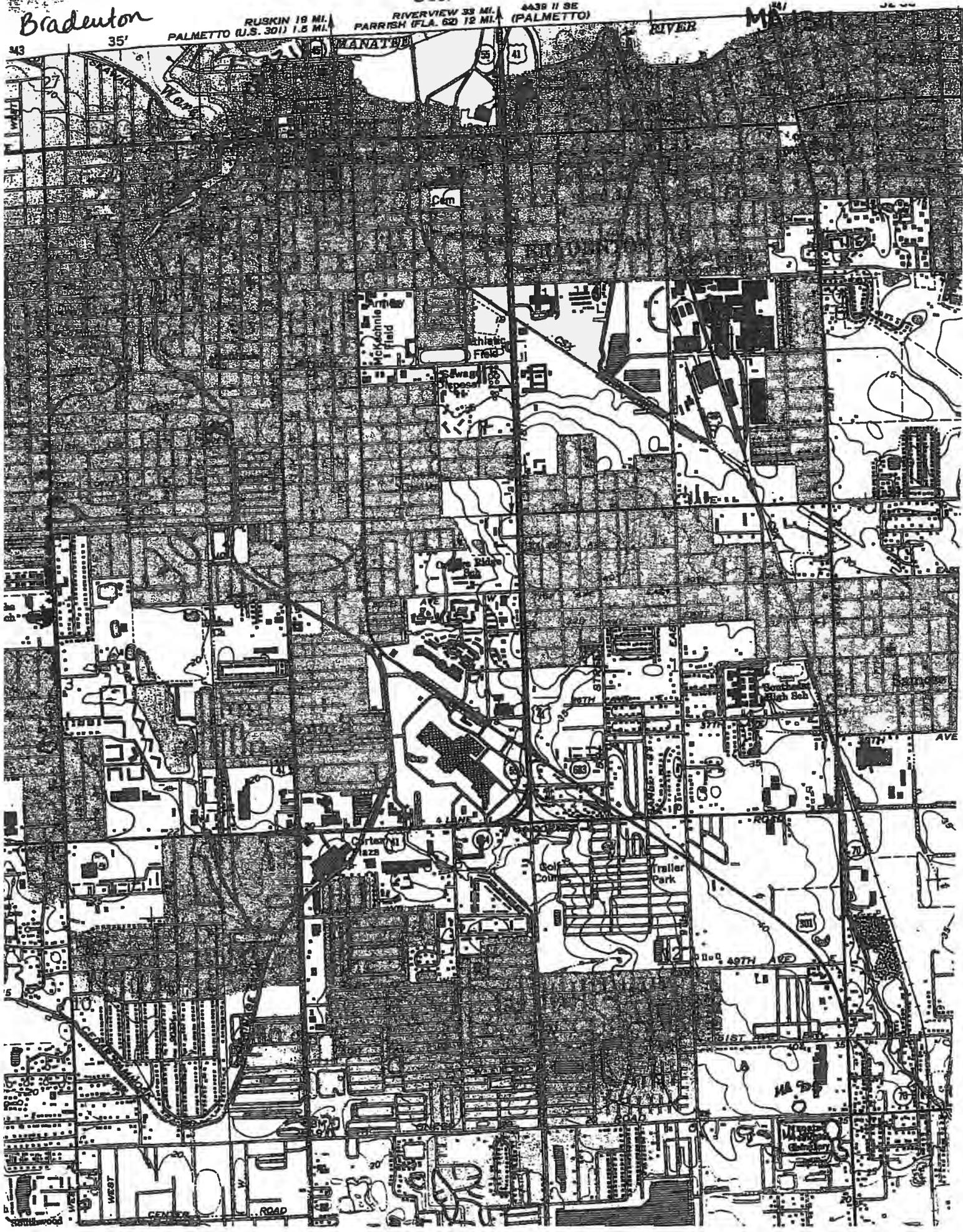
RIVERVIEW 33 MI.
PARRISH (FLA. 62) 12 MI.

4439 11 SE
(PALMETTO)

35'

MANATEE

RIVER











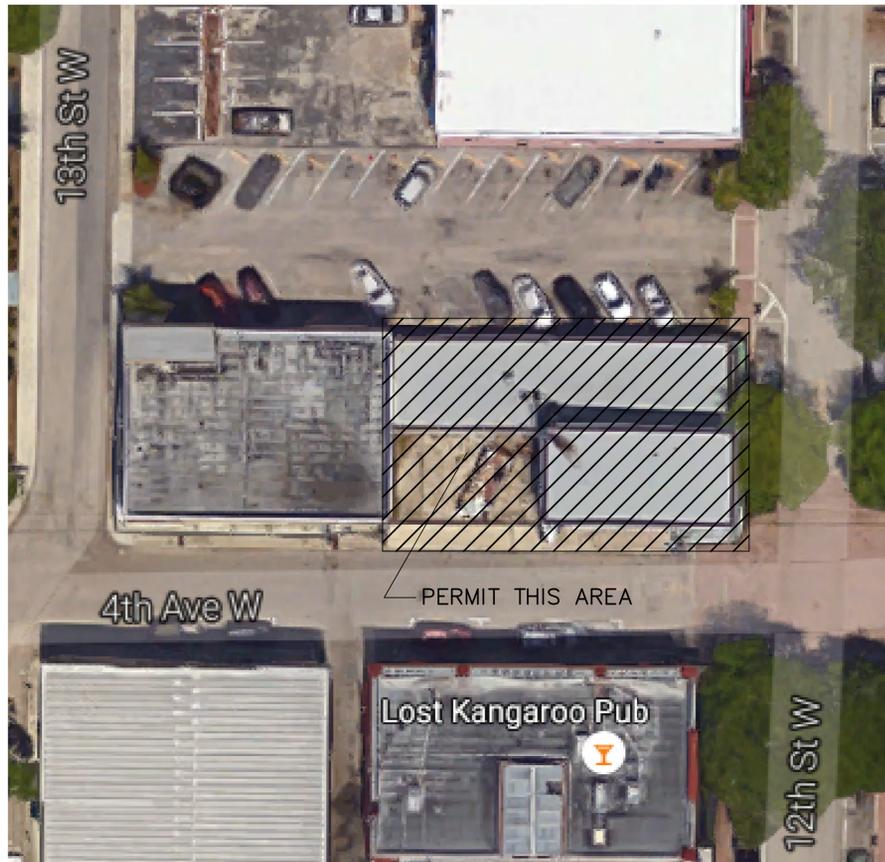


WORLD DESIGN INC.
ARCHITECTS AND ENGINEERS



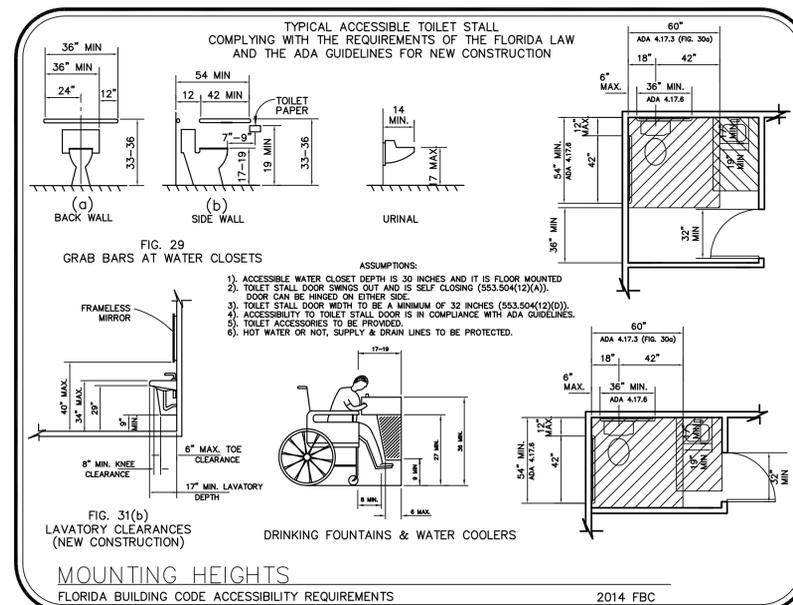
ABBREVIATIONS:

©	AT	K.P.	KICK PLATE
A.B.	ANCHOR BOLT	K.S.	KNEE SPACE
ACOUST.	ACOUSTICAL	KW.	KILOWATT
ADJ.	ADJUSTABLE	L.	LENGTH
A.D.O.	AUTOMATIC DOOR OPERATOR	L.A.	LAY-IN ACOUSTICAL
A.F.F.	ABOVE FINISH FLOOR	L.A.C.	LAY-IN ACOUSTICAL, CERAMAGUARD
A.H.	AIR HANDLER	LAV.	LAVATORY
ALT.	ALTERNATE	LAM.	LAMINATE
AL., ALUM.	ALUMINUM	L.F.	LINEAR FEET
AN., ANOD.	ANODIZED	LKR.	LOCKER
ANNUN.	ANNUNCIATOR	L.L.	LEAD LINED
A.P.	ACCESS PANEL	LOCN.	LOCATION
APP.	APPROXIMATE	MACH.	MACHINE
ARCH.	ARCHITECT	MAS.	MASONRY
A.T.	ACOUSTICAL TILE	MAX.	MAXIMUM
B.B.	BULLETIN BOARD	MECH.	MECHANICAL
BD.	BOARD	MED. CAB.	MEDICINE CABINET
BM.	BEAM	MTL.	METAL
BOT.	BOTTOM	MFD.	MANUFACTURED
B.U.R.	BUILT-IN ROOFING	MFR.	MANUFACTURER
BLDG.	BUILDING	M.H.	MAN HOLE
CAB.	CABINET	MIN.	MINIMUM
C.I.	CAST IRON	MIR.	MIRROR
C.J.	CONTROL JOIST	MISC.	MISCELLANEOUS
CL.	CLEAR	MLDG.	MOLDING
CLG.	CEILING	M.O.	MASONRY OPENING
C.L.	CENTER LINE	M.R.	MOISTURE RESISTANT
CLO.	CLOSET	M.S.L.	MEAN SEA LEVEL
C.M.P.	CORRUGATED METAL PIPE	M.T.	METAL THRESHOLD
C.M.U.	CONCRETE MASONRY UNIT	MTD.	MOUNTED
C.O.	CASED OPENING	M.W.R.	MASONRY WALL REINFORCING
COL.	COLUMN	N.I.C.	NOT IN CONTRACT
CONC.	CONCRETE	NOM.	NOMINAL
CONST.	CONSTRUCTION	N.T.S.	NOT TO SCALE
CONT.	CONTINUOUS	O.A.	OVERALL
CONTR.	CONTRACTOR	OBS.	OBSCURE
CORR.	CORRIDOR	O.C.	ON CENTER
CP.	CARPET	O.C.H.	ON CENTER HORIZONTALLY
C.T.	CERAMIC TILE	O.C.V.	ON CENTER VERTICALLY
CTR.	COUNTER	O.D.	OUTSIDE DIAMETER
DET.	DETAIL	O.H.	OPPOSITE HAND
DIA.	DIAMETER	OPNG.	OPENING
DIAG.	DIAGONAL	OPP.	OPPOSITE
DIM.	DIMENSION	P.	PAINT
DISP.	DISPENSER	PL.	PLATE
DN.	DOWN	P.L.	PLASTIC LAMINATE
DWG.	DRAWING	PLAS.	PLASTER PLASTIC
E.B.	EXPANSION BOLT	PLMG.	PLUMBING
EL.	ELEVATION	PLWG.	PLYWOOD
ELC.	ELECTRICAL	P.T.	PRESSURE TREATED
ELV.	ELEVATOR	PUB.	PUBLIC
E.P.	ELECTRICAL PANEL	P.V.C.	POLYVINYL CHLORIDE
EQ.	EQUAL	Q.T.	QUARRY TILE
EQUIP.	EQUIPMENT	R.	RADIUS
E.R.	EMERGENCY RELEASE	R.C.	RUNNER CHANNEL
E.W.C.	ELECTRIC WATER COOLER	R.C.P.	REINFORCED CONCRETE PIPE
EX., X	EXISTING	R.D.	ROOF DRAIN
EXT.	EXTERIOR	R.O.W.	RIGHT OF WAY
EXTR.	EXTRUDED	REF.	REFRIGERATOR
F.A.	FIRE ALARM	REINF.	REINFORCED
F.C.	FURRING CHANNEL	REQD.	REQUIRED
F.E.C.	FIRE EXTINGUISHER CABINET	REV.	REVERSE
F.D.	FLOOR DRAIN	RM.	ROOM
F.FL.	FINISH FLOOR	R.O.	ROUGH OPENING
FIN.	FINISH	SCRN.	SCREEN
FL.	FLOOR	SCHD.	SCHEDULE
F.P.	FOLDING PARTITION	SEAL.	SEALANT
F.R.	FIRE RATED	SEC.	SECTION
F.S.	FLOOR SINK	S.F.	STORE FRONT
FTG.	FOOTING	SIM.	SIMILIAR
FURR.	FURRING	S.M.	SHEET METAL
F.W.	FLUSH WOOD	S.P.	SOUND PROOF
GA.	GAUGE	SPECS.	SPECIFICATIONS
GALV.	GALVANIZED	S & R	SHELF & ROD
G.B.	GRAB BAR	S.S.	STAINLESS STEEL
G.C.	GENERAL CONTRACTOR	STL.	STEEL
GL.	GLASS	STA.	STATION
G.M.	GALVANIZED METAL	STO.	STORAGE
GR.	GRADE	STRUCT.	STRUCTURAL
G.S.	GYPNUM SHEATHING	SUSP.	SUSPEND
G.W.B.	GYPNUM WALLBOARD	TEL.	TELEPHONE
GYP.	GYPNUM	TEMP.	TEMPERED
H., HT.	HEIGHT	T.P.D.	TOILET PAPER DISPENSER
H.B.	HOSE BIB	TR.	TREAD
H.C.	HANDICAPPED	T.S.	THIN SET
H.M.	HOLLOW METAL	TYP.	TYPICAL
HW.	HARDWARE	UTIL.	UTILITY
HR.	HOSE	V.	VINYL
HVAC.	HEATING, VENTILATING AND AIR CONDITIONING	V.C.T.	VINYL COMPOSITION TILE
I.D.	INSIDE DIAMETER	VEST.	VESTIBULE
I.E.	INVERT ELEVATION	VERT.	VERTICAL
INSUL.	INSULATION	V.I.F.	VERIFY IN FIELD
INT.	INTERIOR	WD.	WOOD
INV.	INVERT	WP.	WEATHER PROOF
JT.	JOINT	W.S.	WOOD SCREWS, WEATHER STRIP
K.C.	KEENE'S CEMENT	W.O.	WHERE OCCURS
KIT.	KITCHEN	W.W.F.	WELDED WIRE FABRIC



ARCHITECTURAL SITE PLAN

SCALE : NTS



INTERIOR ALTERATION FOR;
LA MESA DE LA CASA

320 12TH STREET WEST
BRADENTON, FLORIDA

INDEX OF SHEETS

- CS-1 COVER SHEET
- D-1 DEMOLITION PLAN & NOTES
- A-1 FLOOR & LIFE SAFETY PLAN, GENERAL NOTES
- A-2 REFLECTED CEILING PLAN & DETAIL
- A-3 SECTIONS AND DETAILS
- K-1 EQUIPMENT PLAN
- E-1 ELECTRICAL POWER PLAN
- E-2 ELECTRICAL LIGHTING PLAN
- M-1 MECHANICAL PLAN
- P-1 PLUMBING PLAN & GAS RISER
- P-2 PLUMBING RISERS
- SP-1 SPECIFICATIONS

NOTICE OF ACCEPTANCE (NOA)

ITEM	NOA No.	APPROVAL DATE	EXPIRATION DATE
STORE FRONT	15-0612.09	07/30/15	01/17/18
FIXED GLASS	15-0528.26	07/09/15	02/19/19

BUILDING CODE ANALYSIS

PROJECT NAME: LA MESA DE LA CASA
 ZONING: EXISTING FLOOR AREA ENTIRE BUILDING: 3,505 SQFT
 PARKING REQUIRED: YES PARKING PROVIDED: YES
 CLASSIFICATION OF BUILDING BY OCCUPANCY: A-2 ASSEMBLY
 CLASSIFICATION OF BUILDING BY CONSTRUCTION TYPE: V, B
 YEAR & CODE IN EFFECT BY BUILDING DEPARTMENT: 2014 EXISTING BUILDING CODE
 SPRINKLER SYSTEM PROVIDED: YES NO X
 DESIGN LOADS AND STRESSES
 1. UNIFORM LIVE LOADS: ROOF-DEAD: N/A PSF 2ND FLOOR-DEAD: N/A PSF
 LIVE: N/A PSF FLOOR LIVE: N/A PSF BALCONIES-DEAD: N/A PSF
 2. SOIL BEARING CAPACITY: N/A PSF
 3. WIND LOAD: VELOCITY: 150 MPH
 4. CAST IN PLACE CONCRETE: ULTIMATE COMPRESSIVE STRENGTH @ 28 DAYS
 FLOOR: 3000 PSI BEAMS: 3000 PSI
 5. REINFORCING STEEL: GRADE: 60 KSI
 6. EXPOSURE: B 7. RISK FACTOR: II
 MAXIMUM ALLOWABLE FLOOR AREA PER FLOOR (TABLE 503): N/A
 COMPUTATION OF AREA MODIFICATIONS (SECTION 506 FBC): NO
 ACTUAL GROSS AREA PER FLOOR: 3505
 MAXIMUM ALLOWABLE BUILDING HEIGHT AND NUMBER OF STORIES: N/A
 ACTUAL BUILDING HEIGHT AND NUMBER OF STORIES: 24' - 1 STORY & 2 STORY
 FIRE RESISTANCE RATING OF BUILDING COMPONENTS AND ELEMENTS PER TABLE 601 FBC:
 EXTERIOR BEARING WALLS: N/A INTERIOR BEARING WALLS: N/A
 EXTERIOR NON-BEARING WALLS: N/A INTERIOR NON-BEARING WALLS: N/A
 COLUMNS AND BEAMS: N/A EXIT ACCESS ENCLOSURES: N/A
 FLOOR/CEILING FRAMING: 2 HR EXIT ENCLOSURES: N/A
 NO. OF REQUIRED EXITS FROM BUILDING AND FROM MAJOR SPACE WITHIN A BLDG.: 2
 MAXIMUM ALLOWABLE TRAVEL DISTANCE WITHIN ROOMS OR SPACES AND ALONG ROUTE OF EXIT ACCESS (TABLE 1016.1 FBC): 200
 THE REQUIRED SEPARATION WITHIN ROOMS FROM A COMMON OR ASSUMED PROPERTY LINE (PER TABLE 602 FBC): N/A
 ARCHITECT OR ENGINEER: JOHN A. ZIEMNICKI, AR 00012518

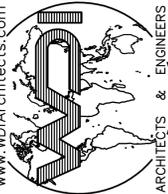
NOTE: ARCHITECT STATES THAT TO THE BEST OF MY KNOWLEDGE, SAID PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE MINIMUM BUILDING CODES AND ALL APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE STATE OF FLORIDA STATUTES 553 AND 633.

NOTE: THESE DRAWINGS WERE PREPARED UNDER THE 2014 EXISTING BUILDING CODE. ARCHITECT ASSUMES RESPONSIBILITY FOR THE DESIGN OF THE BUILDING ONLY. THE ARCHITECT DOES NOT ASSUME THE RESPONSIBILITY FOR THE INTENDED USE BY OTHERS OF THESE DRAWINGS, NOR THE USE OF THE BUILDING BY ITS OWNERS OR DRAWERS.

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ALTERATIONS TO EXISTING BUILDING FOR;
LA MESA DE LA CASA
320 12TH STREET WEST
BRADENTON, FLORIDA



Job No. 16-34
Date 10-12-16
Sheet No.

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DEMOLITION

SCOPE

A. Complete all demolition work as shown on the drawings and as specified herein.

CONDITIONS AT SITE

A. Visit the site and examine the existing structure. Note all conditions as to the character and extents of work involved.

PERMITS, ORDINANCES, ETC.

A. Procure and pay for all necessary permits or certificates required to complete the work specified. Make any and all required notifications and comply with all applicable federal, state and local ordinances.

PROTECTIONS

A. Execute all demolition work in an orderly and careful manner with due consideration for any existing structures, including any parts of the surrounding areas which are to remain. Barricade and cover as necessary to protect pedestrians, workmen, landscaping and adjacent properties. Protect any active service lines, indicated or not.

B. Avoid any encroachment on adjacent properties. Repair and make good any damage to adjoining properties or improvements caused by operations, including any damage or loss to adjoining tenants or property owners, whether to buildings, stocks of merchandise, trade fixtures or the like.

C. Protect and secure the building against weather or intrusion during the demolition period and leave such secure against future intrusion until construction commences.

D. In the event that asbestos materials are present in the existing building, cease demolition and notify the architect, the City or County Building Department, any other city, county or state agency having jurisdiction including the Health Department immediately. Proceed only as directed.

E. Protect from damage any materials to be reused per drawings.

EXECUTION

A. Keep all through lines and drives clean and clear at all times.

B. Conduct operations so as not to interfere with adjacent roads, streets, alleys, drives, walks, service lines and the like.

C. Disconnect any electric, telephone, gas, water, steam or other lines servicing the structure per rules and regulations of authorities having jurisdiction.

D. New construction required for demolition shall be completed prior to demolition of adjacent materials where the new materials are required to maintain structural integrity.

DISPOSITION OF REMOVED MATERIAL

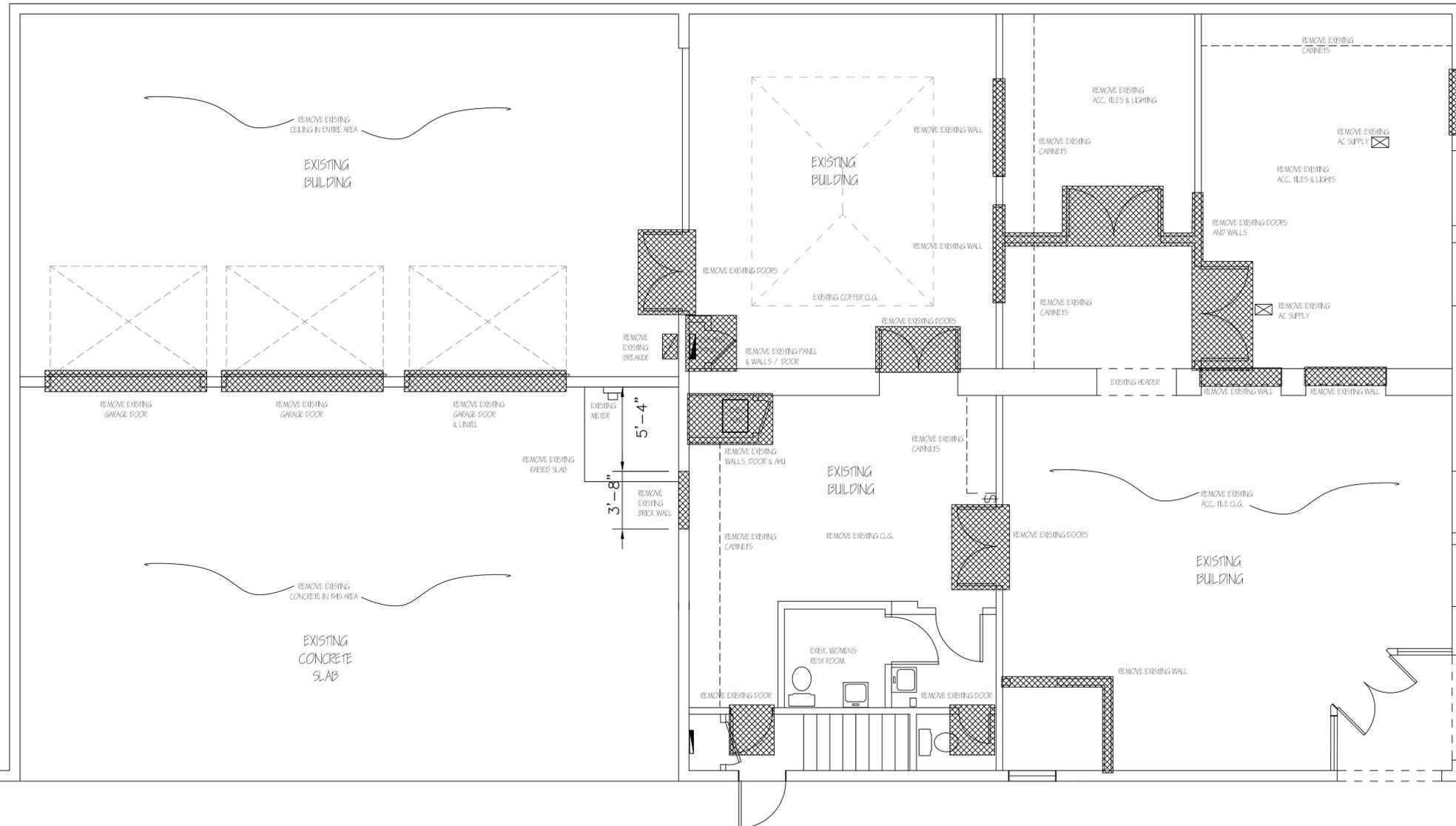
A. All material removed under this contract which is not to be salvaged or reused shall become the property of the contractor and be promptly removed from the site. Do not store or permit debris to accumulate on the site.

B. Stockpile material to be reused in a neat orderly condition, wrapped in 2 mil Visqueen in a secure, dry location within the building, ready for reuse. This material is to be removed with utmost care as to render the material reusable. Clean and/or repair as necessary those items to be reused as to be in a useable condition, acceptable to the owner and the architect.

C. Dispose of any asbestos materials in full compliance with requirements of the Health Department and the City or County Sanitation Department, or any other city, county or state agency having jurisdiction.

CLEAN UP

On completion of demolition work, leave the property and adjacent areas clean and satisfactory to local authorities, the building owner, architect and the owner.



DEMOLITION FLOOR PLAN

SCALE : 1/4" = 1'-0"

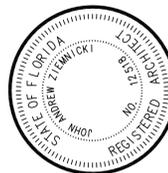


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ALTERATIONS TO EXISTING BUILDING FOR:
LA MESA DE LA CASA
320 12TH STREET WEST
BRADENTON, FLORIDA



Job No. 16-34
Date 10-12-16
Sheet No.
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of 1

DOOR SCHEDULE

- ① (3) 3'-0" x 7'-0" x 1-3/4" IMPACT RESISTANT STOREFRONT DOOR IN CLASS-B STEEL FRAME. CYLINDER LOCK OUTSIDE & PANIC HARDWARE INSIDE. PAINT DOOR AND FRAME. ZONE 5 +28.1/-30.8
- ② (1) 6' x 6' x 1-1/2" MILLWORK BY PASS SWING DOOR CYLINDER LOCK OUTSIDE & THUMB TURN INSIDE. ZONE 5 +29.6/-32.2
- ③ (1) 3'-6" x 6'-8" x 1-3/4" HC BI-FOLD DOOR IN WOOD FRAME PAINT DOOR AND FRAME.
- ④ (2) 3' x 6'-8" x 1-3/4" SC WOOD DOOR IN WOOD FRAME PRIVACY LOCKSET. PAINT DOOR AND FRAME.
- ⑤ (1) 3' x 6'-8" x 1-3/4" SC WOOD DOOR IN WOOD FRAME OFFICE LOCKSET. PAINT DOOR AND FRAME.
- ⑥ (1) 3' x 6' x 1" TOILET PARTITION DOOR IN FRAME W/ THUMB SLIDE LOCKSET. FINISH BY OWNER
- ⑦ (1) 2' x 6' x 1" TOILET PARTITION DOOR IN FRAME W/ THUMB SLIDE LOCKSET. FINISH BY OWNER

DOOR SCHEDULE

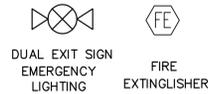
- ⑧ (1) 3' x 6'-8" x 1-3/4" FIBERGLASS DOOR IN WOOD FRAME CYLINDER LOCK OUTSIDE AND PANIC HARDWARE INSIDE. PAINT DOOR AND FRAME.
- ⑨ (1) 3' x 6'-8" x 1-3/4" SC WOOD DOOR IN WOOD FRAME PASSAGE LOCKSET. PAINT DOOR AND FRAME.
- ⑩ (1) 3' x 6'-8" x 1-3/4" SC WOOD DOOR IN WOOD FRAME STORAGE LOCKSET. PAINT DOOR AND FRAME.

NOTE: LOCKSETS & LEVERSETS CAL-ROYAL OR EQUAL BRUSHED ALUMINUM PIONEER SL/CSL SERIES ANSI GRADE 2 6" LEVER SETS. CLOSER CAL ROYAL 900 SERIES ALUM. FINISH. THRESHOLD PEMKO 2005 AV PER ADA.

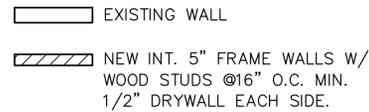
WINDOW SCHEDULE

- A (2) 6'-0" x 7'-0" YKK STOREFRONT YWF400TUH IMPACT RESISTANT FIXED GLASS, MULLED WINDOW, U-VALUE .42 SHGC .40, ZONE 4 +90.0/-120.0
- B (1) 3'-0" x 4'-0" YKK STOREFRONT YWF400TUH SERVICE WINDOW IMPACT RESISTANT FIXED GLASS, MULLED WINDOW, U-VALUE .42 SHGC .40, ZONE 4 +90.0/-120.0

LIFE SAFETY LEGEND

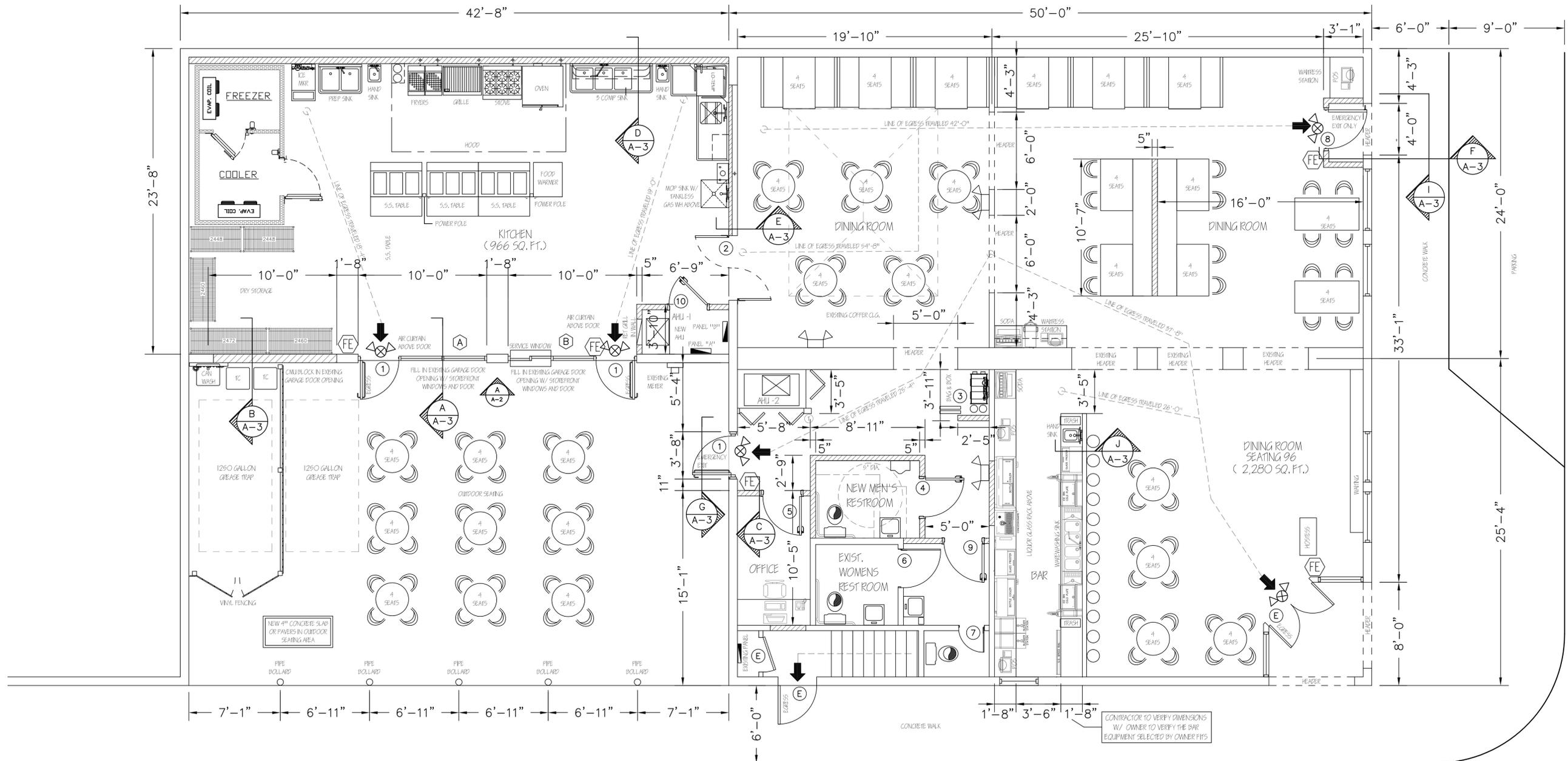


WALL LEGEND



GENERAL NOTES:

1. PERMIT IS FOR LEVEL 3 ALTERATION.
2. TOILET ROOM PER 2014 FBC.
3. ALL INTERIOR FINISHES TO BE CLASS "A" OR "B" FINISH. ALL FLOOR FINISHES CLASS I.
4. ELECTRICAL SERVICE IS NEW, WITH NEW PANELS. SEE ELECTRICAL PLANS.
5. AIR CONDITIONING IS EXISTING WITH A ADDITIONAL UNIT AND MUA UNIT FOR KITCHEN. ENERGY CODE IS REQUIRED.
6. FIRE EXTINGUISHERS TO BE 2-A: 10-B: C



DINING AREAS 2,280 SQ. FT.
 KITCHEN AREA 966 SQ. FT.
 TOTAL AREA 3,246 SQ. FT.

FLOOR & LIFE SAFETY PLAN

SCALE : 1/4" = 1'-0"



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LA MESA DE LA CASA

ALTERATIONS TO EXISTING BUILDING FOR:

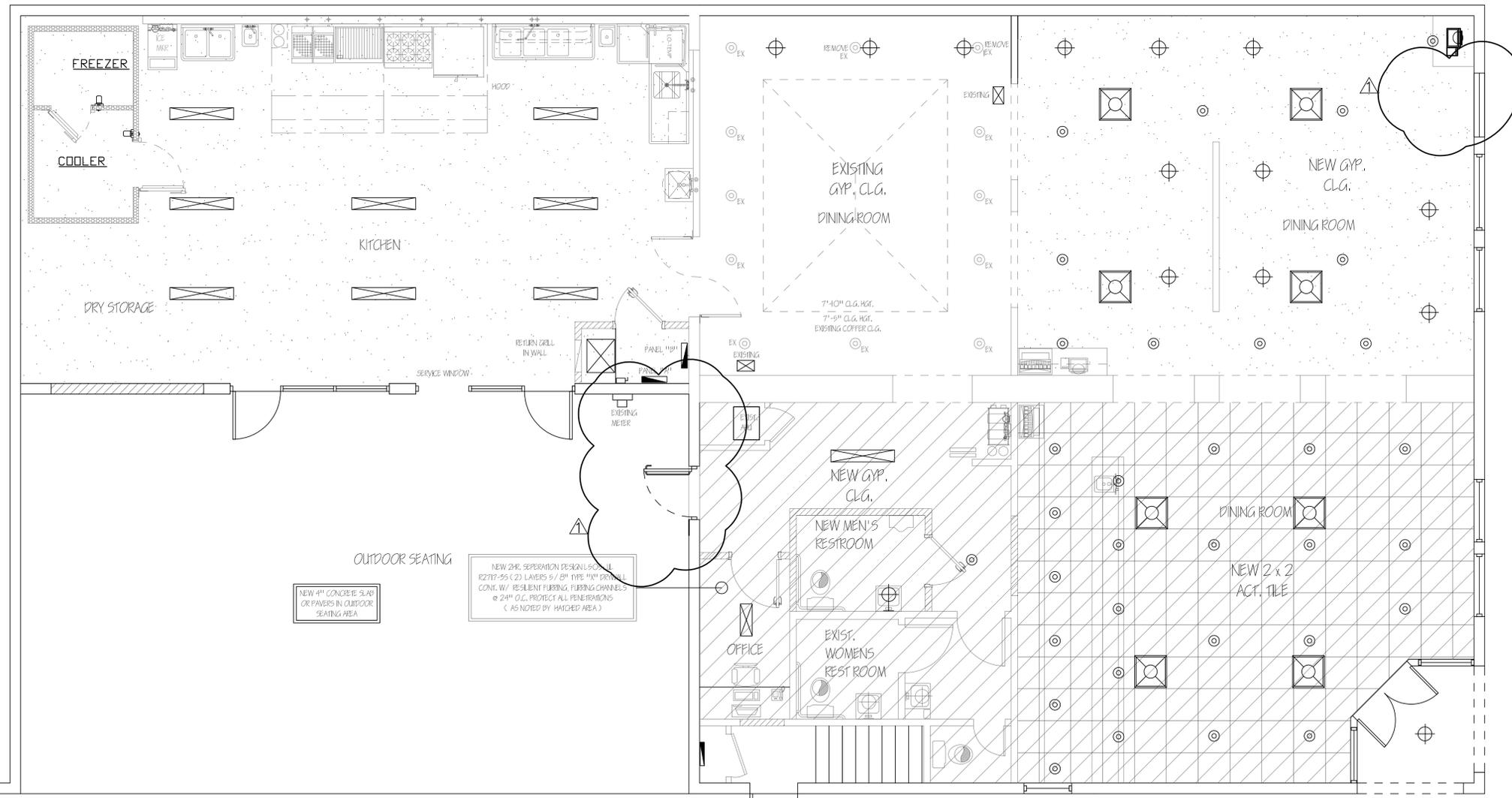
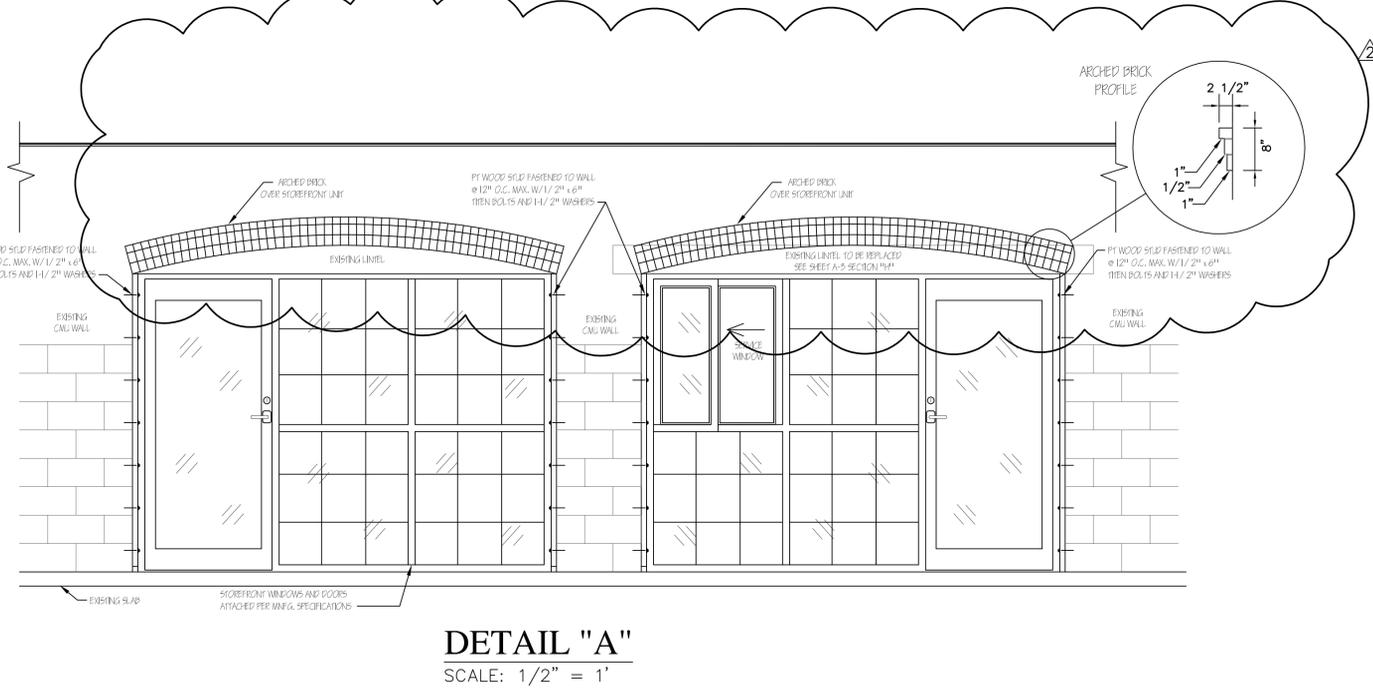
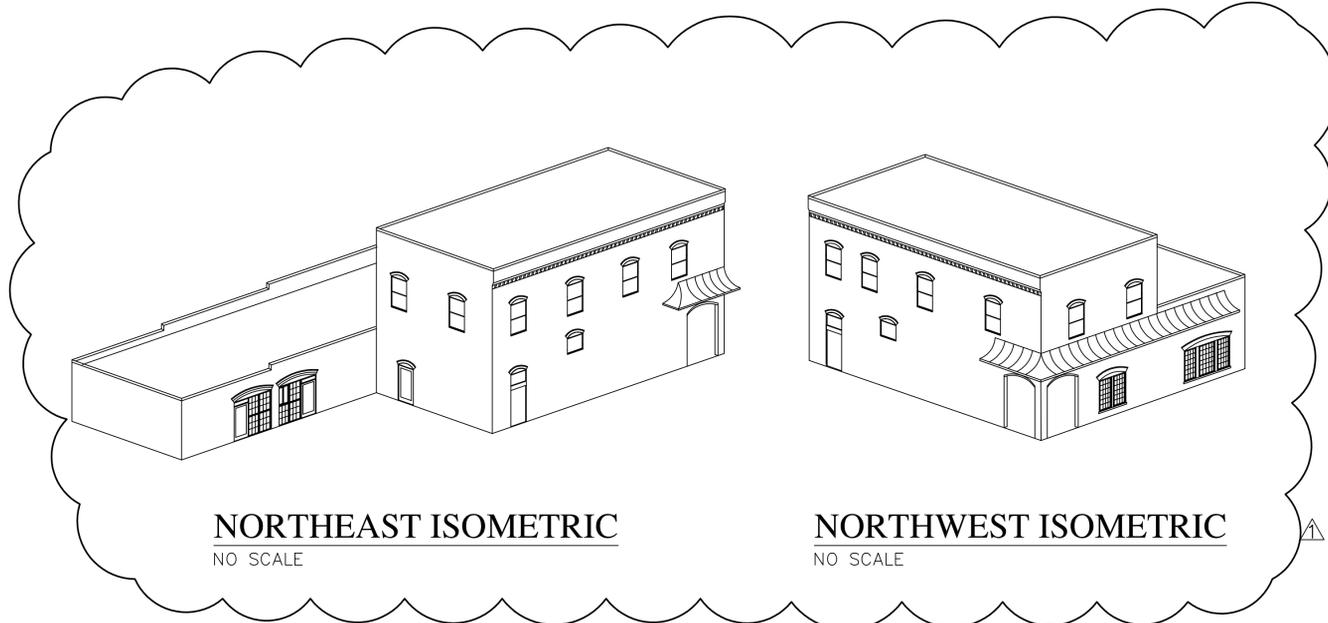
320. 12TH STREET WEST
 BRADENTON, FLORIDA



Job No. 16-34
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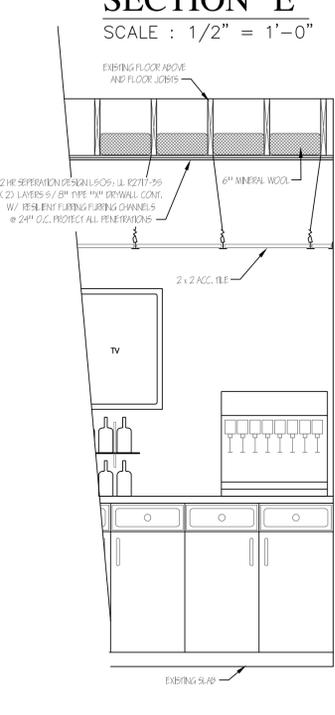
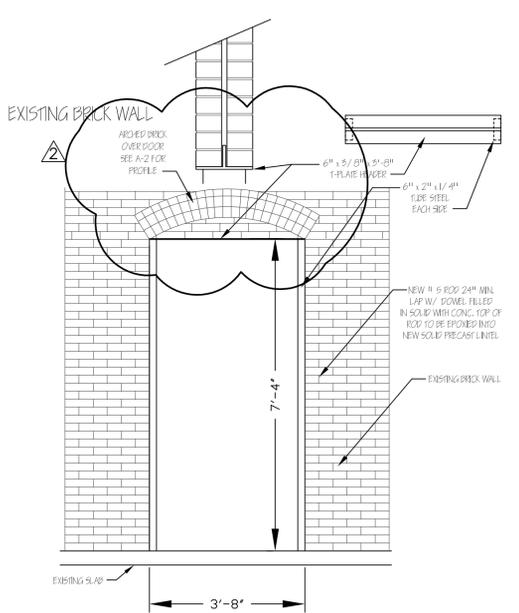
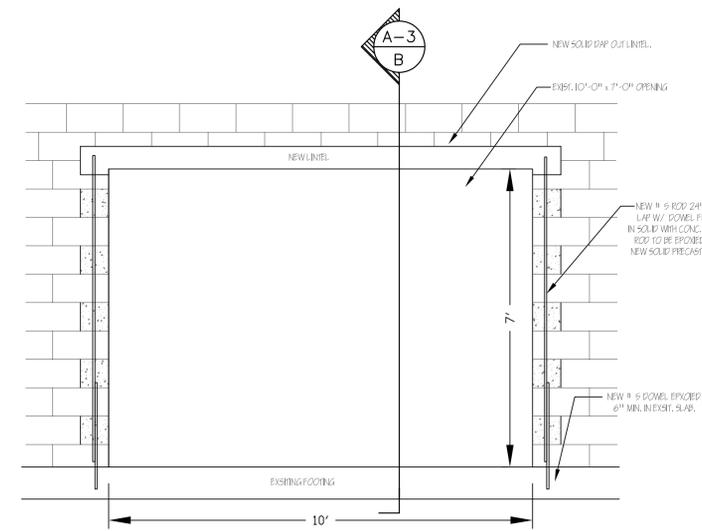
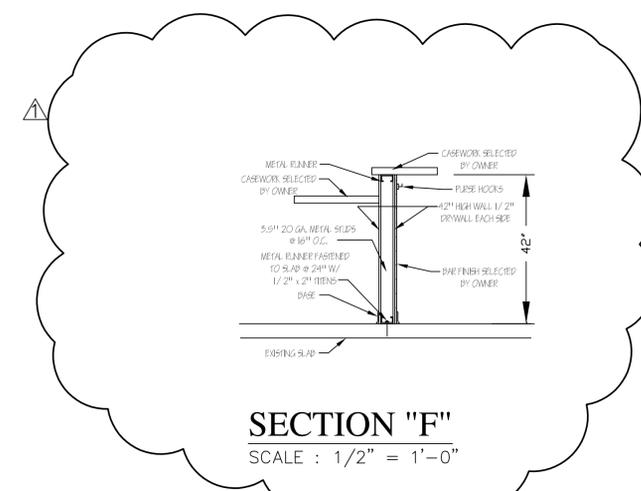
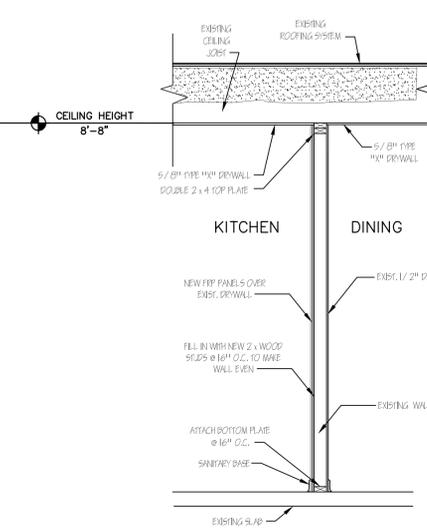
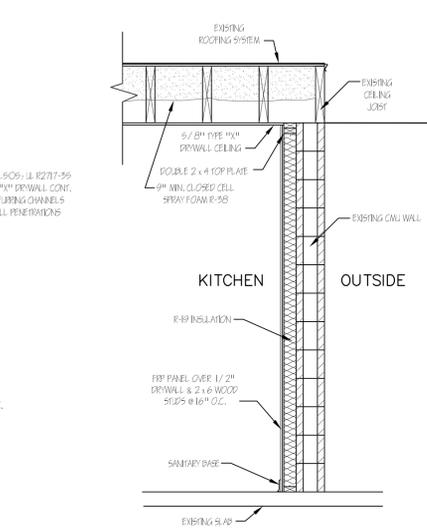
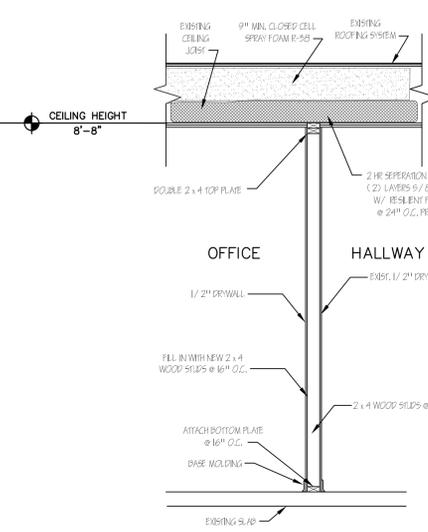
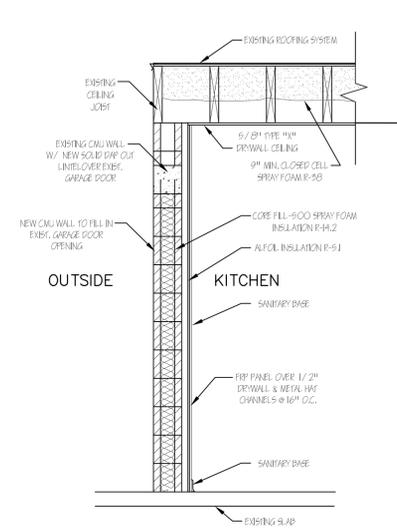
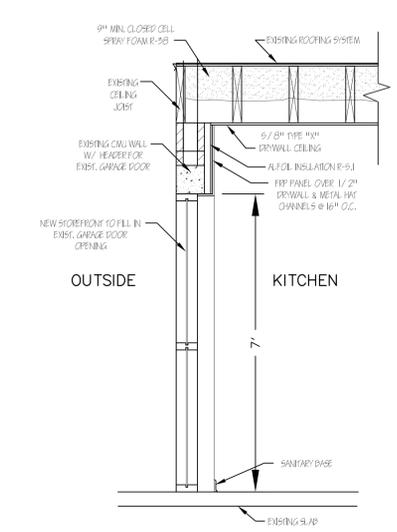
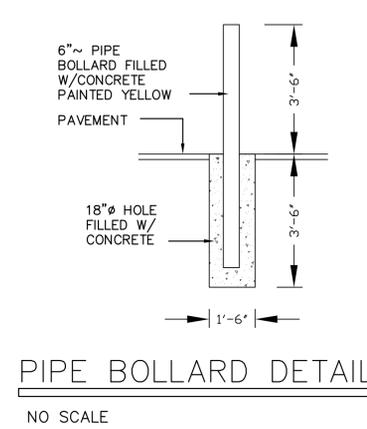


ALTERATIONS TO EXISTING RESIDENCE FOR:
LA MESA DE LA CASA
 320 12TH STREET WEST
 BRADENTON, FLORIDA



Job No. 16-34
 Date 10-12-16
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ALTERATIONS TO EXISTING RESIDENCE FOR:
LA MESA DE LA CASA
320 12TH STREET WEST
BRADENTON, FLORIDA

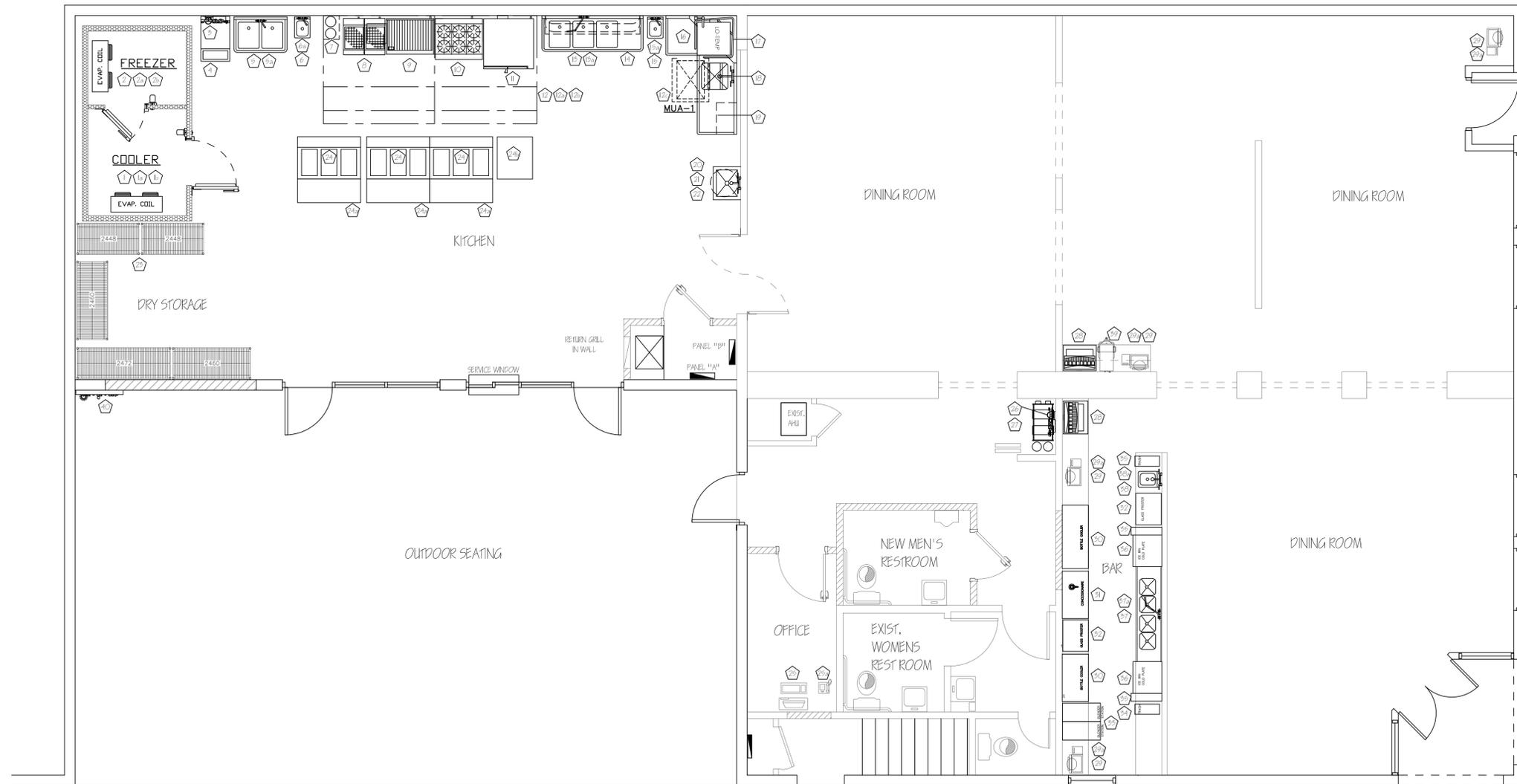


Job No. 16-34
Date 10-12-16
Sheet No. **A-3**
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SYMBOL & ABBREVIATION SCHEDULE		GENERAL NOTES	
PLUMBING - HEATING		ELECTRICAL	
C ● COLD WATER	HP ● MOTOR HORSEPOWER	<p>THIS PLAN IS AN INSTRUMENT OF SERVICE PREPARED FOR THE CONVENIENCE OF THE ARCHITECT, MECHANICAL AND ELECTRICAL ENGINEERS AND BIDDERS. IT IS AS ACCURATE AS CAN BE DETERMINED AT THIS DATE. WE WILL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES WHICH MAY DEVELOP BETWEEN LOCATIONS OF CONNECTIONS SHOWN AND ACTUAL LOCATIONS OF CONNECTIONS OF FIXTURES FURNISHED.</p> <p>WHERE POSSIBLE, AND FOR FIXTURES LOCATED IN FLOOR DEPRESSIONS OR DRIP PANS, ROUGHING FOR CONNECTIONS TO THE FIXTURES COME OUT OF WALL OR PARTITION AT THE REAR. KITCHEN EQUIPMENT CONTRACTOR WILL FURNISH DIMENSIONED PLANS. CONNECTIONS SHOWN ARE APPROXIMATE LOCATIONS ON FIXTURES (EXCEPT WHERE OTHERWISE NOTED) AND ALLOWANCES MUST BE MADE FOR TRAPS, VALVES, SWITCHES OR OTHER CONNECTION REQUIREMENTS. LOCATIONS OF CONNECTIONS ON FIXTURES ARE MEASURED FROM FINISHED FLOORS, WALLS OR COLUMNS.</p>	
H ● HOT WATER	KW KILLOWATTS		
S ● GAS	ED ● HUB VOLT		
● STEAM SUPPLY	EL ● ELECTRICAL LIGHT		
R ● STEAM RETURN	DR ● SINGLE RECEPTACLE		
V ● WASTE	DR ● DUPLEX RECEPTACLE		
IV ● INDIRECT WASTE	SV ● SWITCH		
FD ● FLOOR DRAIN	J ● JUNCTION BOX		
FS ● FLOOR SINK	● SPECIAL PURPOSE OUTLET		
FFD ● FUNNEL FLOOR DRAIN			
GENERAL			
AFV ● ABOVE FINISHED FLOOR			
DFA ● DOWN FROM ABOVE			
DDV ● OUT OF WALL			
CONTRACTORS			
KEC ● KITCHEN EQUIPMENT CONTRACTOR	S/S STAINLESS STEEL		
SC ● GENERAL CONSTRUCTION	S/W SALWAZED IRON		
PLUMS PLUMBING	V/M WHITE METAL		
ELEC ELECTRICAL	C/P CHROME PLATED		
HV ● HEATING & VENTILATING			
MEC ● NOT IN KITCHEN EQUIPMENT CONTRACT			

SCHEDULE OF EQUIPMENT & CONNECTIONS																							
ITEM NO.	QTY	DESCRIPTION	MFR.	MODEL#	H	C	W	IW	G	BTUCF	MHP	KW	AMP	EL	ED	DR	SR	V	TS	PH	REMARKS	ITEM NO.	
01	1	WALK-IN COOLER	BY OWNER									6.0		1							120	POWER FOR LIGHTS	01
1a	1	CONDENSER										12.8		1							208	1	1a
1b	1	EVAPORATOR						1				0.9		1							208	1	1b
02	1	WALK-IN FREEZER	BY OWNER									6.0		1							120	POWER FOR LIGHTS	02
2a	1	CONDENSER										12.8		1							208	1	2a
2b	1	EVAPORATOR						1				6.5		1							208	1	2b
03	1	FILTER	EVERPURE	EV9328-03																			03
04	1	ICE CHEST	PERLICK	TSR4310 SR-524 & BVE-24				1															04
05	1	PREP SINK	KCS	KCS2316-1818-1	1/2			2															05
5a	1	FAUCET	T & S	B-231																			5a
06	3	DROP-IN HAND SINK	ADVANCE	DI-1-105P																			06
6a	3	FAUCET	T & S	B-231	1/2			1 1/2															6a
07	1	FIRE SUPPRESSION SYSTEM	ANSUL	R-102																			07
08	2	FRYER	PITCO	SG145					3/4			120M											08
09	1	RADIANT CHARBROILER	JADE	JB-24F					3/4			60M											09
10	1	SIX BURNER RANGE	JADE	JBR-6-36					1			235M											10
11	1	SINGLE CONVECTION OVEN	BLODGETT	ZEPHARUS-100G					3/4			50M											11
12	2	KITCHEN HOOD	CAPTIVE AIRE																				12

12a	1	EXHAUST FAN	CAPTIVE AIRE											1990							120		12a	
12b	1	EXHAUST FAN	CAPTIVE AIRE											1990							120		12b	
12c	1	MAKE UP AIR FAN (NO HEAT)	CAPTIVE AIRE											1560							120		12c	
13	1	THREE COMPARTMENT SINK	PERLICK	TS335 924-10LF					1/2			1/2									1 1/2		13	
13a	1	FAUCET	T & S	B-231					1/2			1/2									2		13a	
14	1	WALL SHELF	CUSTOM	72x14																			14	
15	1	DROP-IN HAND SINK	ADVANCE	DI-1-105P																			15	
15a	1	FAUCET	T & S	B-231					1/2			1/2									1 1/2		15a	
16	1	L-SHAPED SOIL TABLE	CUSTOM	60x78																	2		16	
17	1	CONVEYOR DISH MACHINE	JACKSON	AJK-44					3/4												2		17	
18	1	PRE RINSE FAUCET	T & S	B-0113B-SVV																			18	
19	1	WALL SHELF	CUSTOM	24x24																			19	
20	1	GAS WATER HEATER							3/4			3/4											20	
21	1	HOP SINK	BY OWNER																		1/2	2	21	
22	1	SERVICE FAUCET	T&S	B-0665BSTR																			22	
23	5	DUNNAGE RACK	BY OWNER																				23	
24	3	WORK TOP REFRIGERATOR	CONTINENTAL	CRA-68 2 DRVS. 1 DR. TRAY SLIDES																		13.0	1	24
24a	3	WORK TABLE	ADVANCE	48X18																				24a
24b	1	FOOD WARMER	HATCO	GRWH-60																		6.7	1	24b
25	1	COMPUTER	BY OWNER																					25
25a	1	PHONE	BY OWNER																					25a
26	1	FILTER	EVERPURE	EV9328-03																				26
27	1	BAG N BOX	BY OWNER																			3/4		27
28	2	SELF SERVICE SODA & ICE	BY OWNER																			1		28
29	3	PRINTER	BY OWNER																					29
29a	3	P.D.S.	BY OWNER																					29a
30	2	BOTTLE COOLER	PERLICK	BC46																				30
31	1	CONSEIDNAIRE	BY OWNER																					31
32	1	FROSTER	PERLICK	HC24FS 3/2 DOOR																				32
33	2	BLENDER STATION	PERLICK	TS148LB																		1 1/2		33
34	2	TRASH CANS	BY OWNER																					34
35	2	BAR GUN	BY OWNER																			1/2		35
36	2	ICE BIN/ COLD PLATE	PERLICK	TSCE41C10 SR-524 & BVE-24																		1		36
37	1	FOUR COMPARTMENT SINK	HOBART	60 DT.																				37
37a	1	FAUCET	T & S	B-231																				37a
38	1	DROP-IN HAND SINK	ADVANCE	DI-1-105P																				38
38a	1	FAUCET	T & S	B-231																		1/2	1 1/2	38a
39	1	ICE TEA BREWER	BUNN	TE30-LP V/ TEO 3.5 DISPENSER																		1/2		39
40	1	CAN WASH STATION	BY OWNER																					40



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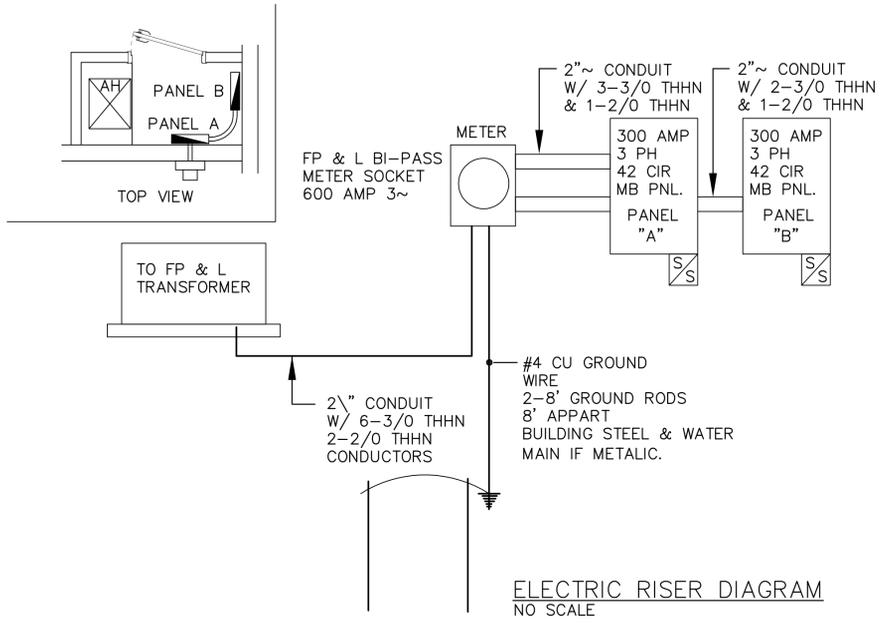
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INTERIOR ALTERATION FOR:
LA MESA DE LA CASA
320 12TH STREET WEST
BRADENTON, FLORIDA



Job No. 16-34
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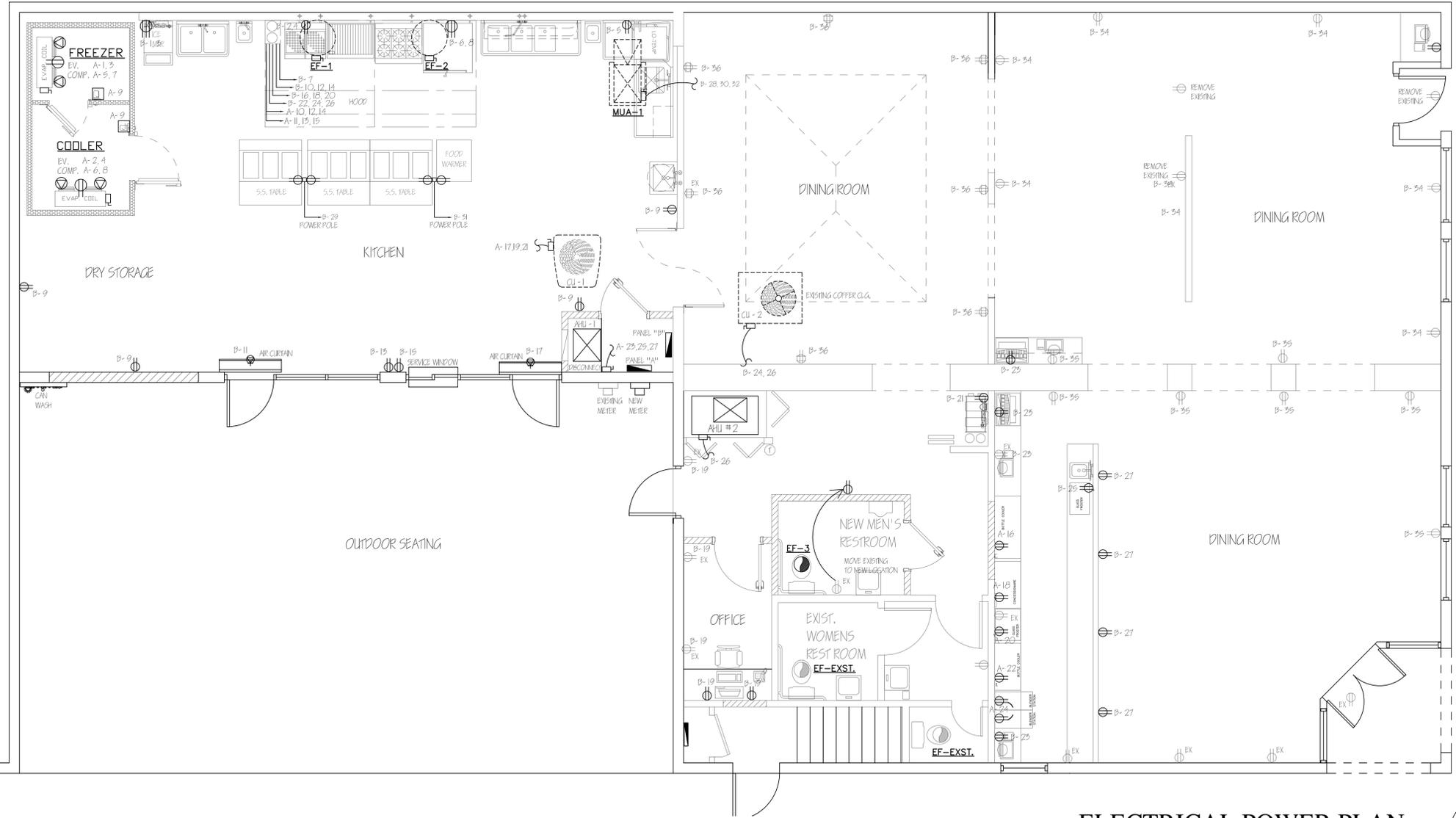
EQUIPMENT PLAN
SCALE : 1/4" = 1'-0"
NORTH



BUS SIZE: 300A CU TYPE: NEMA 1		PANELBOARD SCHEDULE		LOCATION: SEE PLANS																																																																																																																																																																					
MAIN BREAKER: MLO		<table border="1"> <thead> <tr> <th>LOAD</th> <th>BKR</th> <th>CKT</th> <th>A</th> <th>B</th> <th>C</th> <th>CKT</th> <th>BKR</th> <th>LOAD</th> <th>EQUIPMENT SERVED</th> </tr> </thead> <tbody> <tr><td>FREEZER EVAP.</td><td>1000</td><td>1P-30</td><td>1</td><td>2</td><td>1P-30</td><td>1000</td><td>COOLER EVAP.</td></tr> <tr><td>FREEZER COMP.</td><td>750</td><td>1P-30</td><td>5</td><td>4</td><td>1P-30</td><td>750</td><td>COOLER COND.</td></tr> <tr><td>COOLER LIGHTS</td><td>500</td><td>1P-15</td><td>9</td><td>10</td><td>3P-20</td><td>1200</td><td>HP-1</td></tr> <tr><td>HP-2</td><td>1200</td><td>3P-20</td><td>11</td><td>12</td><td>1200</td><td></td><td></td></tr> <tr><td></td><td>1200</td><td></td><td>13</td><td>14</td><td>1200</td><td></td><td></td></tr> <tr><td></td><td>1200</td><td></td><td>15</td><td>16</td><td>1P-15</td><td>750</td><td>BOTTLE COOLER</td></tr> <tr><td>CU-1</td><td>2150</td><td>3P-35</td><td>17</td><td>18</td><td>1P-20</td><td>1500</td><td>CONCESSIONAIRE</td></tr> <tr><td></td><td>2150</td><td></td><td>19</td><td>20</td><td>1P-20</td><td>1500</td><td>GLASS FROSTER</td></tr> <tr><td></td><td>2150</td><td></td><td>21</td><td>22</td><td>1P-15</td><td>750</td><td>BOTTLE COOLER</td></tr> <tr><td>AHU-1</td><td>2688</td><td>3P-30</td><td>23</td><td>24</td><td>1P-15</td><td>750</td><td>BLENDER STATION</td></tr> <tr><td></td><td>2688</td><td></td><td>25</td><td>26</td><td>1P-20</td><td>400</td><td>KITCHEN LIGHTS</td></tr> <tr><td></td><td>2688</td><td></td><td>27</td><td>28</td><td>1P-20</td><td>1000</td><td>HOOD LIGHTS/CONTROLS</td></tr> <tr><td>DINNING LIGHTS</td><td>1500</td><td>1P-20</td><td>29</td><td>30</td><td>1P-20</td><td>1000</td><td>OUTDOOR LIGHTS</td></tr> <tr><td>OFFICE/RESTROOM LIGHTS</td><td>500</td><td>1P-15</td><td>31</td><td>32</td><td>1P-20</td><td>500</td><td>PHOTO CELL</td></tr> <tr><td></td><td></td><td></td><td>33</td><td>34</td><td>1P-20</td><td>1000</td><td>EF-3/ EF EXIST.</td></tr> <tr><td></td><td></td><td></td><td>35</td><td>36</td><td></td><td></td><td></td></tr> <tr><td></td><td></td><td></td><td>37</td><td>38</td><td></td><td></td><td></td></tr> <tr><td></td><td></td><td></td><td>39</td><td>40</td><td></td><td></td><td></td></tr> <tr><td colspan="2"></td><td colspan="2">24,114 VA</td><td colspan="2"></td><td colspan="2">16,250VA</td><td colspan="2"></td></tr> </tbody> </table>		LOAD	BKR	CKT	A	B	C	CKT	BKR	LOAD	EQUIPMENT SERVED	FREEZER EVAP.	1000	1P-30	1	2	1P-30	1000	COOLER EVAP.	FREEZER COMP.	750	1P-30	5	4	1P-30	750	COOLER COND.	COOLER LIGHTS	500	1P-15	9	10	3P-20	1200	HP-1	HP-2	1200	3P-20	11	12	1200				1200		13	14	1200				1200		15	16	1P-15	750	BOTTLE COOLER	CU-1	2150	3P-35	17	18	1P-20	1500	CONCESSIONAIRE		2150		19	20	1P-20	1500	GLASS FROSTER		2150		21	22	1P-15	750	BOTTLE COOLER	AHU-1	2688	3P-30	23	24	1P-15	750	BLENDER STATION		2688		25	26	1P-20	400	KITCHEN LIGHTS		2688		27	28	1P-20	1000	HOOD LIGHTS/CONTROLS	DINNING LIGHTS	1500	1P-20	29	30	1P-20	1000	OUTDOOR LIGHTS	OFFICE/RESTROOM LIGHTS	500	1P-15	31	32	1P-20	500	PHOTO CELL				33	34	1P-20	1000	EF-3/ EF EXIST.				35	36							37	38							39	40						24,114 VA				16,250VA				CONNECTED LOADS	
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PHASE A 8,288 VA		TOTAL CONNECTED LOAD 40,364 VA		PHASE A 5,350 VA		DEMAND LOAD 31,014																																																																																																																																																																			
PHASE B 7,538 VA				PHASE B 5,700 VA		DEMAND AMPS 149.1																																																																																																																																																																			
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ELECTRICAL LEGEND			
	1 X 4 LAY-IN LED FIXTURE, LETTER INDICATES TYPE 47 WATTS SM INDICATES SURFACE MOUNTED		1 X 2 LED FIXTURE, LETTER INDICATES TYPE 27 WATTS SM INDICATES SURFACE MOUNTED
	FLUORESCENT STRIP LIGHT FIXTURE		INCANDESCENT OR HID LIGHT FIXTURE, LETTER INDICATES TYPE
	WALL BRACKET LIGHT FIXTURE, LETTER INDICATES TYPE		EXIT LIGHT WITH BATTERY POWERED BACKUP
	BATTERY POWERED EMERGENCY LIGHT		SINGLE POLE SWITCH, MOUNT 48" U.O.N.
	THREE-WAY SWITCH, MOUNT 48" U.O.N.		DIMMER SWITCH, WATTS AS NOTED, MOUNT 48" U.O.N.
	DUPLEX RECEPTACLE, MOUNT 18" U.O.N.		QUAD RECEPTACLE, MOUNT 18" U.O.N.
	SPLIT WIRE RECEPTACLE, MOUNT 18" U.O.N.		FLOOR MOUNTED DUPLEX RECEPTACLE
	TELEPHONE WALL OUTLET, PROVIDE SINGLE GANG BOX WITH 1" CONDUIT STUBBED INTO CEILING SPACE, MOUNT 18" U.O.N.		CABLE CONNECTION
	HARD WIRE CONNECTION		250 WATT HIGH BAYS
	WALK PAK		JUNCTION BOX
	CONDUIT CONCEALED IN WALL OR ABOVE CEILING WITH (2) # 12 CONDUCTORS UNLESS OTHERWISE NOTED		DISCONNECT SWITCH
	LIGHTING OR POWER PANELBOARD		EXHAUST FAN
	MOTOR PREMANLY CONNECTED W/ FLEXIBLE CONDUIT		THERMOSTAT - PROVIDE SINGLE GANG BOX W/ 1" CONDUIT STUBBED INTO CEILING SPACE, MOUNT 60" U.O.N. (CO-ORDINATE WITH MECHANICAL DRAWINGS)
	SPECIAL PURPOSE OUTLET, I.E.: 240/208 VOLT		EQUIPMENT GROUND
	ABOVE FINISH FLOOR		WEATHERPROOF
	ROOF TOP UNIT		FIRE ALARM CONTROL PANEL
	FIRE ALARM CONTROL PANEL		SMOKE DETECTOR
	ELECTRIC WATER HEATER		ELECTRIC WATER COOLER
	ELECTRIC WATER COOLER		PHOTO CELL
	EXISTING DEVICE		NOT IN CONTRACT
	EXHAUST FAN		NOT TO SCALE
	CURRENT TRANSFORMER		FIRE ALARM CONTROL PANEL
	SMOKE DETECTOR		HEAT DETECTOR
	PULL STATION		HORN
	HORN		STROBE
	STROBE		HORN/STROBE



ELECTRICAL POWER PLAN
SCALE : 1/4" = 1'-0"



WORLD DESIGN, INC.
4301 32nd Street West, Suite D-5
Bradenton, Florida 34205
NCARB CERTIFIED (941)-755-3934
FAX (941)-756-6869
John A. Ziemnicki, A.I.A.
FL AAC001570 EB 0007666 SC 888014
FL 12518 SC 3558 IL 11783 TN 23111

REVISIONS
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INTERIOR ALTERATION FOR:
LA MESA DE LA CASA
320 12TH STREET WEST
BRADENTON, FLORIDA



Job No. 16-34
Date 10-12-16
Sheet No.
E-1
of 2

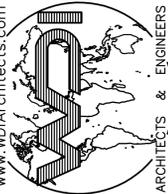
LIGHTING FIXTURE SCHEDULE					
TAG	MANUFACTURER	MODEL #	LAMPS	MOUNTING	DESCRIPTION
A	BY OWNER		LED	SURFACE	CLG. MNT. OVER TABLES
B	BEACON	LA120/PC/24NB-27/3K/UVV DIR2/PEC/GENI-XX/PT/BMT	27W LED	WALL	DECORATIVE OUTDOOR SEATING WALL PENDANT TYPE AT ENTRY AND EXIT
C	COLUMBIA	LCA122-NLG-EDU	30W LED	WALL	WALL PACK
D	MAXLINE	HH6-LED-120CL-21MR-120-MD-30K- 90/HH6-6501-CL-WH	17W LED	RECESSED	6" BAR/HOSTESS AREA RECESSED CAN
E	COLUMBIA	LAW4-40WL-E-UHELL14	47W LED	SURFACE	1 x 4 KITCHEN AREA ROFFER
F	COLUMBIA	LAW2-40WL-E-UHELL14	27W LED	SURFACE	1 x 2 RESTROOMS / OFFICE
G	BY OWNER		LED	CEILING	CLG. MNT. OVER TABLES
H	BEACON	AA-56/W/-/1/BMT	-	WALL	ARM FOR WALL MOUNT FIXTURES

CONTRACTOR TO CONFIRM ALL ELECTRICAL REQUIREMENTS AND TO VERIFY ANY CHANGES WITH OWNER PRIOR TO WORK BEING PERFORMED.

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FILE :

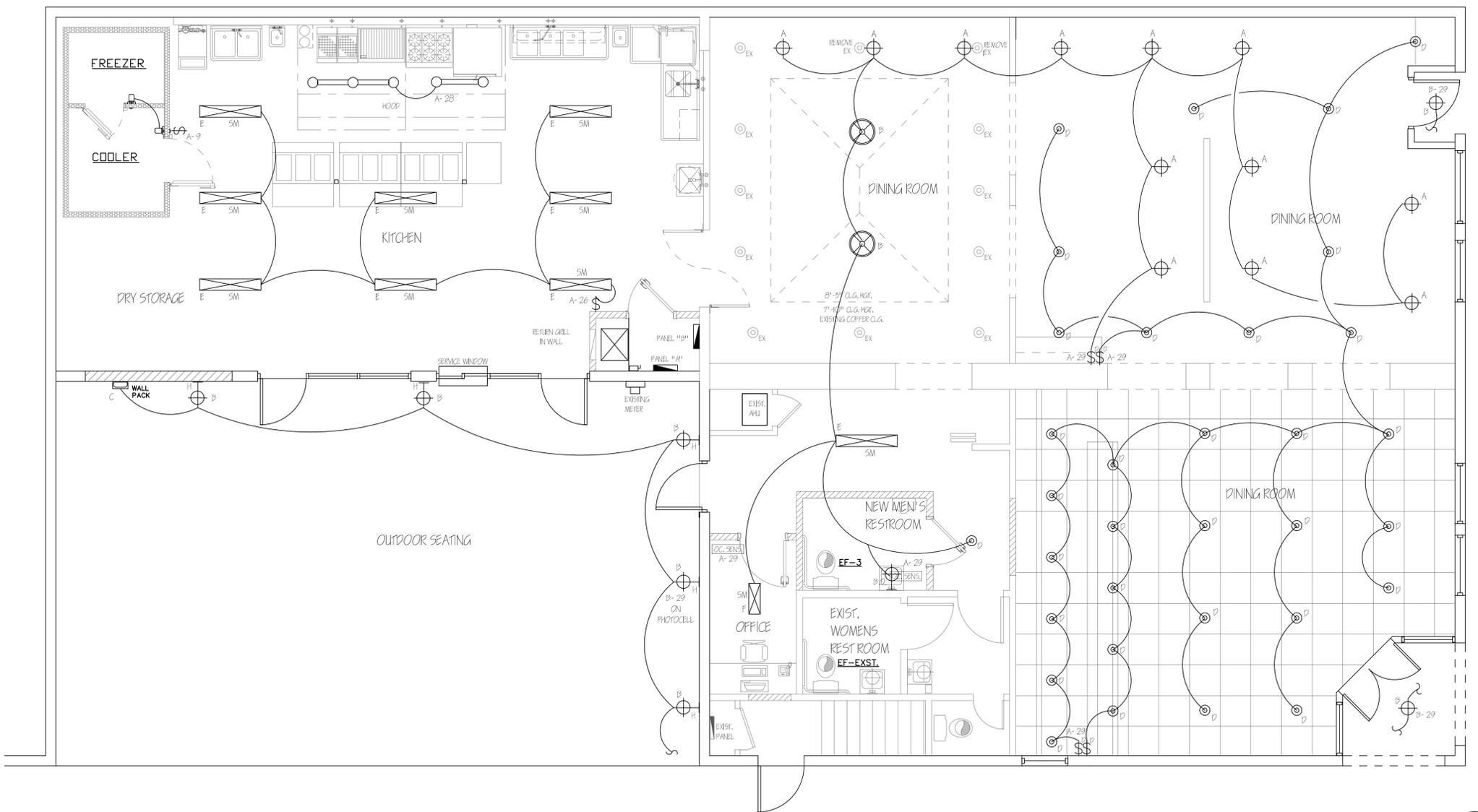
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ELECTRICAL LEGEND

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- FLOOR MOUNTED DUPLEX RECEPTACLE
- TELEPHONE WALL OUTLET, PROVIDE SINGLE GANG BOX WITH
1" CONDUIT STUBBED INTO CEILING SPACE, MOUNT 18" U.O.N.
- CABLE CONNECTION
- HARD WIRE CONNECTION
- 250 WATT HIGH BAYS
- WALK PAK
- JUNCTION BOX
- CONDUIT CONCEALED IN WALL OR ABOVE CEILING WITH
(2) # 12 CONDUCTORS UNLESS OTHERWISE NOTED
- DISCONNECT SWITCH
- LIGHTING OR POWER PANELBOARD
- EXHAUST FAN
- MOTOR PREAMPLIFIER CONNECTED W/ FLEXIBLE CONDUIT
- THERMOSTAT - PROVIDE SINGLE GANG BOX W/ 1" CONDUIT
STUBBED INTO CEILING SPACE, MOUNT 60" U.O.N. (CO-ORDINATE
WITH MECHANICAL DRAWINGS)
- SPECIAL PURPOSE OUTLET, I.E.: 240/208 VOLT
- TELEPHONE BACKBOARD
- EQUIPMENT GROUND
- ABOVE FINISH FLOOR
- WEATHERPROOF
- ROOF TOP UNIT
- UNLESS OTHERWISE NOTED
- EWH
- EWC
- PC
- EX
- NIC
- E/F
- N.T.S.
- C/T
- FACP
- S
- I
- P
- H
- S
- H/S
- EXHAUST FAN
- NOT TO SCALE
- CURRENT TRANSFORMER
- FIRE ALARM CONTROL PANEL
- SMOKE DETECTOR
- HEAT DETECTOR
- PULL STATION
- HORN
- STROBE
- HORN/STROBE



ELECTRICAL LIGHTING PLAN
SCALE : 1/4" = 1'-0"
NORTH

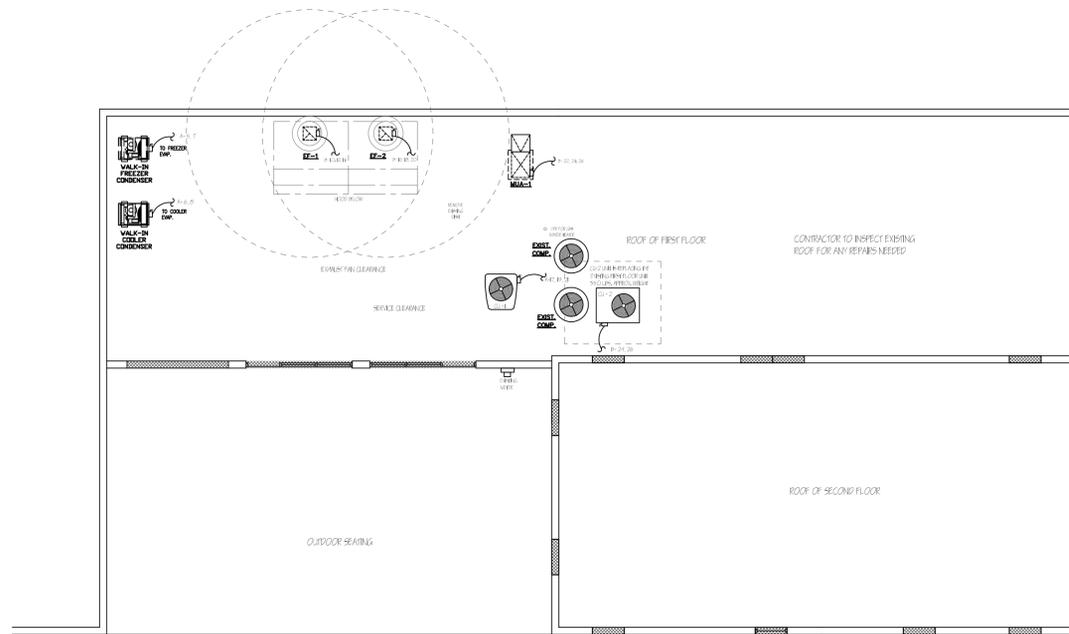
INTERIOR ALTERATION FOR:
LA MESA DE LA CASA
320 12TH STREET WEST
BRADENTON, FLORIDA



Job No. 16-34
Date 10-12-16
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MECHANICAL SCHEDULE			
TAG	MANUFACTURER	MODEL #	DESCRIPTION
CU-1	LENNOX	55B06CH4-250	CONDENSING UNIT
AHU-1	LENNOX	CBX27UH-060	AIR HANDLER
CU-2	LENNOX	15A072540Y	CONDENSING UNIT
AHU-2	LENNOX	1AA072540-Y	AIR HANDLER
EF-1	CAPTIVE AIRE	DETERMINED BY CAPTIVE AIRE	KITCHEN HOOD EXHAUST FAN
EF-2	CAPTIVE AIRE	DETERMINED BY CAPTIVE AIRE	KITCHEN HOOD EXHAUST FAN
EF-3	EXISTING	TE TO EXISTING	RESTROOM EXHAUST FAN

CONTRACTOR TO CONFIRM ALL ELECTRICAL REQUIREMENTS AND TO VERIFY ANY CHANGES WITH OWNER PRIOR TO WORK BEING PERFORMED.



ROOF PLAN
SCALE : 1/8" = 1'-0"

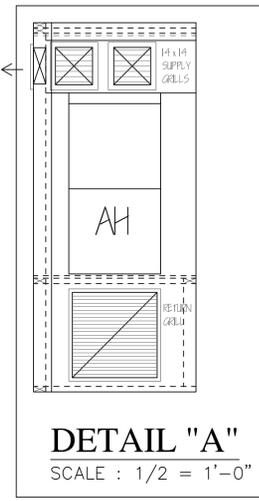
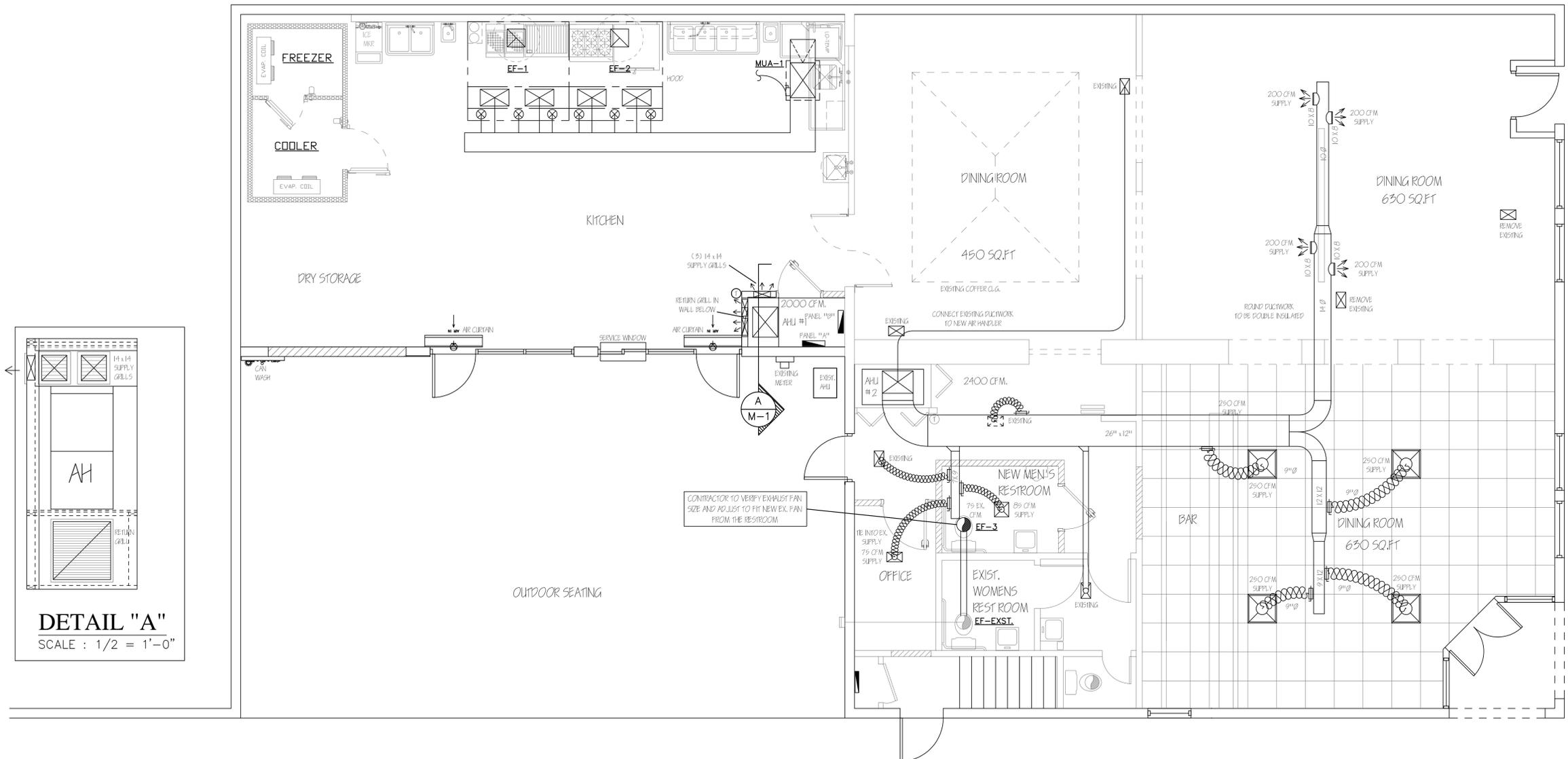
OUTSIDE AIR CALCULATIONS PER FBC MECH. 403.3

NEW AHU #1

KITCHEN FACTOR / 100 S.F.; 30 CFM PER PERSON
 996 S.F. / .7 S.F. = 12.04 ≈ 12 PERSONS
 12 PERSONS X 30 CFM = 360 MIN CFM OUTSIDE AIR

GENERAL MECHANICAL NOTES

- HVAC UNIT FOR SPACE IS 2 NEW SPLIT SYSTEMS AS FOLLOWS. KITCHEN AREA UNIT IS A 5 TON W/ 11.2 EER AND 13.0 IEER NO HEAT. DINING AREA UNIT IS A 6 TON W/ 12 EER RATING AND 13.5/16.0 IEER 5KW HEAT
- HVAC CONTRACTOR SHALL COORDINATE WITH ALL TRADES BEFORE INSTALLING ANY EQUIPMENT, DUCTWORK, ETC.
- LOCATIONS OF DIFFUSERS AND GRILLES ARE APPROXIMATE. COORDINATE EXACT LOCATIONS WITH ALL TRADES BEFORE INSTALLATION.
- MECHANICAL PLAN IS FOR MINOR ALTERATIONS FOR NEW RESTROOM. ENERGY CODE REQUIRED
- FLEXIBLE DUCTWORK AS INDICATED SHALL BE FLEXIBLE INSULATED DUCT. MAXIMUM RUNS 15'-0".
- ALL OUTSIDE AIR INTAKES TO BE A MINIMUM OF 10'-0" AWAY FROM EXHAUSTS, FLUES, PLUMBING VENTS, ETC.
- NEW HVAC GRILLE TO BE METALTAIRE OF EQUAL. WHITE IN COLOR.
- HVAC CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICES NECESSARY FOR A COMPLETE SYSTEM.



DETAIL "A"
SCALE : 1/2" = 1'-0"

MECHANICAL PLAN
SCALE : 1/4" = 1'-0"



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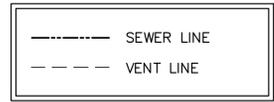
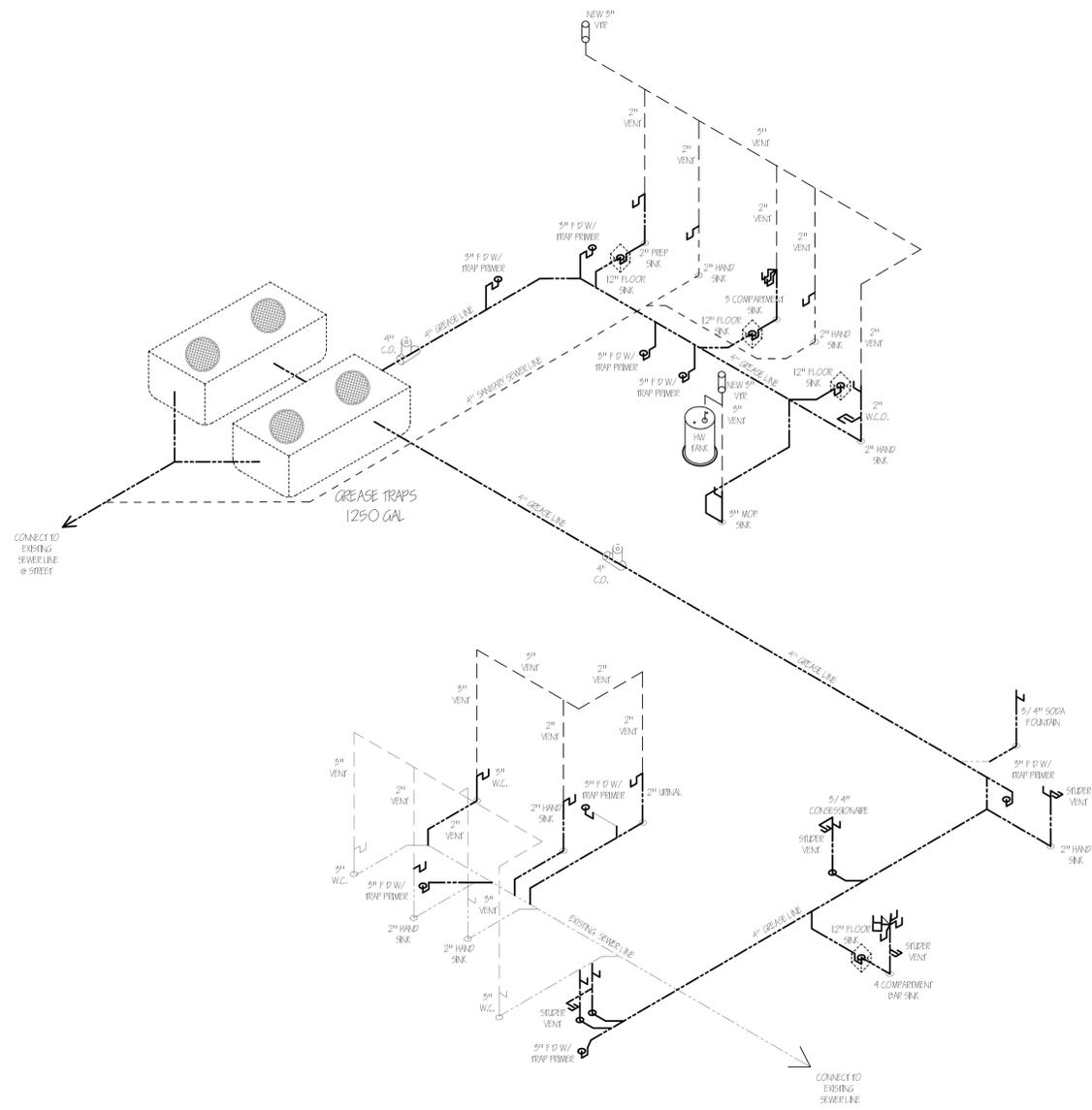
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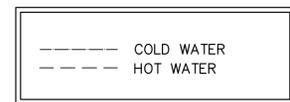
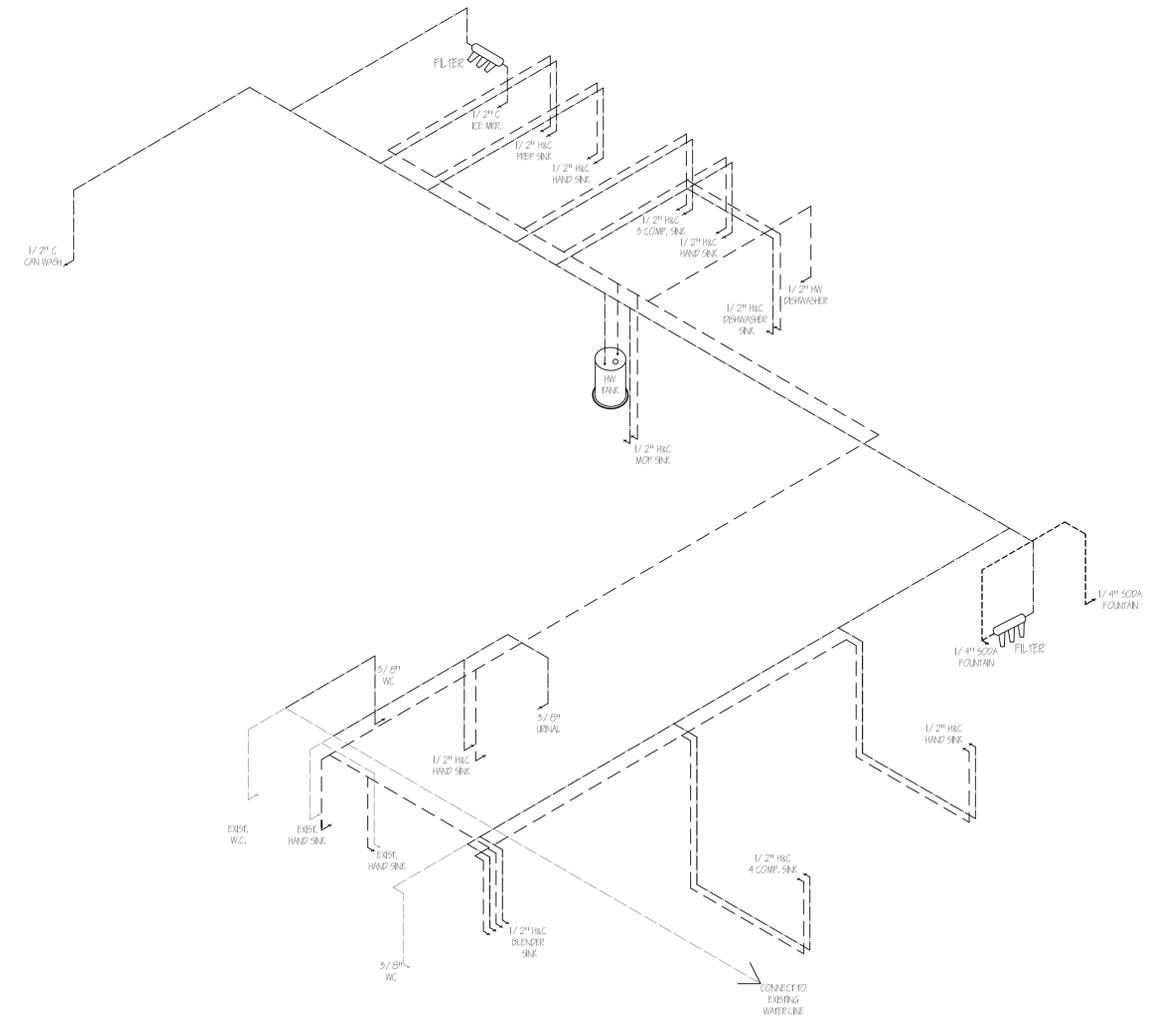
INTERIOR COMPLETION FOR:
LA MESA DE LA CASA
320 12TH STREET WEST
BRADENTON, FLORIDA



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CONNECT TO EXISTING SEWERLINE @ STREET
SEWER RISER DIAGRAM
 NO SCALE



PRESSURE PIPING RISER DIAGRAM
 NO SCALE

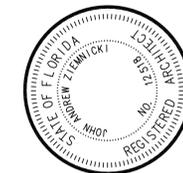


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 BRADENTON, FLORIDA



Job No. 16-34
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PROJECT MANUAL NOTES

DIVISION 1 – GENERAL CONDITIONS

0101. THE STRUCTURAL DESIGN OF THIS WORK IS BASED ON THE FOLLOWING CRITERIA :
ROOF LOADS : N/A
SOIL BEARING CAPACITY : N/A
WIND LOADS : 150
RISK FACTOR II
0102. CONTRACTOR SHALL PROVIDE (4) CONC. TEST CYLINDERS FOR EACH DAY'S POUR AND FOR EACH STRENGTH OF CONCRETE BREAK CYLINDERS AT 7, 14, & 28 DAYS. HOLD ONE CYLINDER IN RESERVE. COST TO BE BORNE BY THE CONTRACTOR.
0103. CONTRACTOR SHALL SECURE AND PAY ALL TAP, IMPACT, PERMIT, MSTU AND ALL OTHER GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. THESE FEES TO BE INCLUDED IN BASE BID.
0104. DEMOLITION PERMIT SHALL BE INCLUDED IN BASE BID IF ANY.
0105. CONTRACTOR SHALL COORDINATE AND INCLUDE IN BASE BID, ALL EXTENSIONS OF SITE UTILITIES, ELECTRICAL, CABLE TELEVISION, AND TELEPHONE SERVICE.
0106. THE CONTRACTOR TO PROVIDE BUILDERS RISK INSURANCE.
0109. ALL DEBRIS SHALL BE STORED AND REMOVED FROM SITE IN PROPER CONTAINERS AT NO ADDITIONAL COST TO OWNER.
0110. OWNER SHALL HAVE FIRST RIGHT TO SALVAGE ANY MATERIALS TO BE REMOVED UNDER THIS CONTRACT.
0113. UPON COMPLETION AND PRIOR TO REQUEST FOR FINAL PAYMENT, CONTRACTOR SHALL SUBMIT (2) BOND COPIES OF A LIST OF SUBCONTRACTORS WITH NAMES, ADDRESSES & PHONE NUMBERS, ALL WARRANTIES, GUARANTEES, OPERATING INSTRUCTIONS & EQUIPMENT MANUALS TO INCLUDE RECOMMENDED SERVICE AND MAINTENANCE ALONG WITH A SET OF "AS-BUILT" DRAWINGS SHOWING ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS INDICATING LOCATIONS OF VALVES, CLEANOUTS, VENTS, JUNCTION BOXES AND ALL MECHANICAL AND ELECTRICAL COMPONENTS.
0124. THE CONTRACTOR SHALL WARRANT ALL WORK FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR. (TWO YEARS FOR ALL ROOFING INSTALLATIONS.)
0129. CONTRACTOR TO FURNISH, INSTALL, AND MAINTAIN AMPLE TEMPORARY TOILET FACILITIES FOR THE USE OF WORKMEN ENGAGED IN WORK UNDER THIS CONTRACT. TEMPORARY FACILITIES SHALL BE SUBJECT TO ALL APPLICABLE ORDINANCES, HEALTH DEPT. REQUIREMENTS, AND RULES AND REGULATIONS OF GOVERNING AUTHORITIES.
0130. CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS AND SHALL PAY FOR ALL TEMPORARY WATER, ELECTRICAL POWER, SEWAGE, AND RUBBISH REMOVAL SERVICES AS MAY BE REQUIRED FOR CONSTRUCTION OF THIS PROJECT.
0131. CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND PAY FOR TEMPORARY HOISTING EQUIPMENT REQUIRED FOR CONSTRUCTION OF THIS PROJECT.
0133. IT SHALL BE THE RIGHT OF THE OWNER TO PLACE AND INSTALL EQUIPMENT PURCHASED UNDER SEPARATE CONTRACT, THOUGH THIS ACTION SHALL BE IN COORDINATION WITH THE CONTRACTORS CONSTRUCTION SCHEDULE.
0134. IN CASE OF DISCREPANCY CONCERNING DIMENSION, QUANTITY, OR LOCATION, GRAPHIC DRAWINGS SHALL TAKE PRECEDENCE OVER THE SPECIFICATIONS. EXPLANATORY NOTES ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER CONFLICTING DRAWN INDICATIONS. LARGE SCALE DETAILS SHALL TAKE PRECEDENCE OVER SMALL SCALE MEASUREMENTS. CONSULT ARCHITECT SHOULD ANY SUCH DISCREPANCY BE FOUND.
0135. IN CASE OF DISCREPANCY CONCERNING QUALITY AND/OR QUANTITY WITHIN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE THE BETTER QUALITY UNLESS OTHERWISE DETERMINED IN WRITING BY THE ARCHITECT.
0142. CHANGES TO THE CONTRACT DOCUMENTS SHALL BE MADE IN WRITING BY THE ARCHITECT VIA CHANGE ORDERS APPROVED BY THE OWNER. NO CLAIM FOR COMPENSATION FOR CHANGES WILL BE ALLOWED THE CONTRACTOR WITHOUT SUCH WRITTEN AUTHORIZATION, EXCEPT IN EMERGENCIES ENDANGERING LIFE OR PROPERTY.
0143. WHEN VALUES AT RISK ARE CHANGED BY A CHANGE ORDER, ALL RELATED INSURANCES, PERFORMANCE BONDS, AND OTHER SUCH PROVISIONS SHALL BE ALTERED TO PROVIDE 100% COVERAGE OF THE VALUES AT RISK.
0146. PROVIDE A PERMANENT NAMEPLATE ON EACH ITEM OF SERVICE—CONNECTED OR POWER-OPERATED EQUIPMENT. LOCATE ON AN INCONSPICUOUS, ACCESSIBLE SURFACE. NAMEPLATE SHALL CONTAIN ESSENTIAL OPERATING DATA, NAME OF PRODUCT AND MANUFACTURER, MODEL AND SERIAL NUMBER, CAPACITY, SPEED AND RATINGS.
0147. DELIVER, STORE, AND HANDLE PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, USING METHODS THAT WILL PREVENT DAMAGE, DETERIORATION, AND LOSS.

DIVISION 2 – SITE WORK n/a

DIVISION 3 – CONCRETE

0301. CONCRETE SLAB AREAS TO RECEIVE CARPET OR FLOORING SHALL BE CLEAN AND FREE OF DUST AND SEALED WITH A SUITABLE CONCRETE SEALER PRIOR TO THE INSTALLATION OF FINISH.
0320. ALL STRUCTURAL CONCRETE SHALL CONFORM TO ACI 318, AND SHALL ATTAIN A MINIMUM 28-DAY ULTIMATE COMPRESSIVE STRENGTH OF 3,000 & 3,500 PSI.
0321. ALL REINFORCING STEEL SHALL CONFORM TO ASTM DESIGNATION A615 GRADE 60.
0322. WHERE NOT DETAILED IN DRAWINGS, REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI-315).
0323. IN FLEXURAL MEMBERS SPLICES FOR CONTINUOUS TOP BARS SHALL BE MADE AT OR NEAR THE MID-SPAN OF THE MEMBER. SPLICES FOR CONTINUOUS BOTTOM BARS SHALL BE MADE AT OR NEAR POINTS ON INTERMEDIATE SUPPORT. LAP SPLICE LENGTH SHALL BE IN ACCORDANCE WITH ACI 318.
0324. CONCRETE COVERAGE OF REINFORCING STEEL SHALL BE PLACED AS FOLLOWS :
A. CONCRETE PLACED DIRECTLY IN CONTACT WITH THE GROUND 3"
B. CONCRETE EXPOSED DIRECTLY TO THE WEATHER OR IN CONTACT WITH THE GROUND AFTER REMOVAL OF FORMS : #6 DIAMETER BARS AND LARGER – 2" #5 DIAMETER BARS AND SMALLER – 1-1/2"
C. CONCRETE NOT EXPOSED DIRECTLY TO THE GROUND OR WEATHER : WALLS AND SLABS – 3/4" BEAMS AND GIRDERS – 1-1/2"
D. ALL OTHERS – 1-1/2"

DIVISION 3 – CONCRETE cont.

0328. DESIGN, CONSTRUCT, AND MAINTAIN CONCRETE FORM WORK SO AS TO INSURE THAT AFTER REMOVAL, FINISHED CONCRETE MEMBERS SHALL HAVE TRUE SURFACES, BE FREE OF WAVES, BULGES AND CONFORM ACCURATELY TO INDICATED SHAPES, DIMENSIONS, LINES, AND POSITIONS OF CONCRETE MEMBERS SHOWN.
0329. FORMS SHALL BE READILY REMOVABLE WITHOUT IMPACT, SHOCK OR DAMAGE TO CONCRETE.
0330. FORMWORK SHALL BE POSITIONED TO MAINTAIN HARDENED CONCRETE FINISH LINES WITHIN THE FOLLOWING PERMISSIBLE DEVIATIONS.
-VARIATION FROM PLUMB:
3/8" IN ANY STORY OR 20 FEET MAXIMUM
1/2" IN 40 FEET OR MORE
-VARIATION FROM LEVEL OR FROM GRADES INDICATED:
1/8" IN 10 FEET
1/4" IN ANY BAY OR 20 FEET MAXIMUM
3/8" IN 40 FEET OR MORE
-CROSS-SECTIONAL DIMENSIONS:
MINUS 1/8"
PLUS 1/4"
-BUILDING LINES (VARIATION OF THE LINEAR BUILDING LINES FROM ESTABLISHED POSITION IN PLAN AND RELATED POSITION OF COLUMNS, WALLS, AND PARTITIONS)
1/4" IN ANY BAY OR 20 FEET MAXIMUM
1/2" IN 40 FEET OR MORE
-VARIATIONS IN THE SIZES AND LOCATIONS OF SLEEVES AND SLAB OPENINGS:
1/3"
0334. SLUMP TEST SHALL BE TAKEN BY CONTRACTOR WHEN CYLINDERS ARE TAKEN. MAXIMUM SLUMP, 5", MINIMUM SLUMP, 3".
0336. CONCRETE MATERIALS :
1. PORTLAND CEMENT – ASTM 150, TYPE 1 FOR GENERAL PURPOSE CONCRETE.
2. AGGREGATES
A. FINE AGGREGATES – ASTM C33, WASHED SAND
B. COARSE AGGREGATES – ASTM C33, CRUSHED STONE
1) MEMBERS TO 8" SECTION – TABLE II, SIZE 67
2) GROUTED MASONRY – PEA ROCK GRAVEL
3) ALL OTHER CONCRETE TABLE II, SIZE 467
3. ADMIXTURE FOR STRUCTURAL CONCRETE :
AIR ENTRAINING ADMIXTURE AND CHEMICAL ADMIXTURE ASTM C494.
4. WATER – FRESH, POTABLE TAP WATER.
5. UNDERSLAB VAPOR BARRIER—PLASTIC SHEETING, 6 MIL THICK, LAID AS RECOMMENDED BY MANUFACTURER. LAPPED 12" MINIMUM WITH TAPED JOINTS.

0341. CONCRETE SLAB FINISH :

1. WHILE PLACING CONCRETE, TAMP TO FORCE COURSE AGGREGATE AWAY FROM SURFACE, THEN SCREED WITH STRAIGHT EDGES TO BRING SURFACE TO FINISH LEVEL.
2. WOOD FLOAT TO TRUE PLANE (LEVEL OR SLOPED AS SHOWN ON DRAWINGS) WITH NO COARSE AGGREGATE SHOWING. FLOAT WHILE CONCRETE IS GREEN YET HARD ENOUGH TO SUPPORT MAN'S WEIGHT WITHOUT IMPRINT.
3. STEEL TROWEL NOT LESS THAN TWO PASSES. TROWEL WHEN LITTLE OR NO CONCRETE STICKS TO TROWEL BLADES.
4. HAND TROWEL THIRD PASS TO REMOVE IMPERFECTIONS AND PRODUCE SMOOTH IMPERVIOUS SURFACE.
5. LIGHT BROOM FINISHED SURFACES NEED ONLY BE FINISHED THROUGH WOOD FLOATING, THEN LIGHTLY BROOM FOR SLIP-RESISTANCE SURFACE.
0342. CURE CONCRETE NOT LESS THAN TIME REQUIRED TO REACH 75% OF DESIGN STRENGTH. CURE WITH CURING COMPOUND APPLIED PER ASTM C 309, IMPERVIOUS – SHEET CURING WITH PLASTIC MEMBRANE, MOIST-CURE BY COVERING WITH WET SAND OR WET BURLAP KJEPT CONTINUOUSLY WET BY KEEPING FORMWORK CONTINUOUSLY WET FOR DURATION OF CURING TIME.

DIVISION 4 – MASONRY

0402. CONCRETE MASONRY UNITS SHALL BE TWO CELL BLOCKS MADE OF PORTLAND CEMENT, WATER AND APPROVED AGGREGATES, AND SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR HOLLOW LOAD BEARING MASONRY UNITS ASTM DESIGNATION C90 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI. NO DAMAGED OR IRREGULAR MATERIAL SHALL BE USED.
0403. MORTAR SHALL BE TYPE "M" AND SHALL CONFORM TO ASTM C90, WITH STANDARD HORIZONTAL JOINT REINFORCING AT 1'-4" CENTERS VERTICALLY.
0405. GROUTED CELLS SHALL BE FILLED WITH A "PEA GRAVEL" CONCRETE WITH A MINIMUM 28-DAY STRENGTH OF 3,000 PSI. THE CELLS SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A CLEAN, UNOBSTRUCTIVE CONTINUOUS VERTICAL CELL. GROUT SHALL BE Poured IN LIFTS NOT TO EXCEED 8'-0".
0406. CLEANOUT OPENINGS SHALL BE PROVIDED AT THE BOTTOM OF ALL GROUTED CELLS AT EACH LIFT FOR FIELD INSPECTION. OPENINGS SHALL BE COVERED AFTER INSPECTION AND BEFORE GROUTING. WALLS SHALL CURE A MINIMUM OF 24 HOURS PRIOR TO FILLING GROUTED CELLS.
0407. WHEN GROUTING IS STOPPED FOR ONE HOUR OR LONGER, THE GROUTING SHALL BE STOPPED 1-1/2" BELOW THE TOP OF THE UPPERMOST UNIT.
0412. LAY BLOCK IN RUNNING BOND UNLESS OTHERWISE INDICATED.
0413. LAYING TOLERANCES : WALL, CORNERS, PIERS, JAMB TO BE PLUMB WITHIN TOLERANCE OF 1/8" IN 5 FEET, COURSES TO BE LEVEL WITHIN 1/4" IN 50 FEET. FACES OF WALLS STRAIGHT WITHIN 1/4" IN 50 FEET.
0415. ALL MASONRY UNITS SHALL BE SAWN FOR FINAL FIT, NO BREAKING OR HAND SPLITTING OF BLOCKS SHALL BE PERMITTED.

DIVISION 5 – METALS n/a

DIVISION 6 – WOOD AND PLASTICS

0602. ALL WOOD IN CONTACT WITH CONCRETE OR CONCRETE MASONRY SHALL BE PRESSURE TREATED OR PROTECTED WITH DECAY RESISTANT MATERIAL.
0603. BUILDING PAPER SHALL BE ASPHALT SATURATED FELT, 30-LB. NON PERFORATED, COMPLYING WITH ASTM D226.

DIVISION 7 – THERMAL & MOISTURE PROTECTION

0705. FLASHING SHALL BE FABRICATED FROM 26 GAUGE ZINC. WHERE FLASHING IS INSTALLED DIRECTLY ONTO CEMENTITIOUS OR WOOD SUBSTRATES, INSTALL A SLIP-SHEET OF RED ROSIN PAPER AND A COURSE OF 6 MIL POLYETHYLENE UNDERLAYMENT. ISOLATE ALUMINUM SURFACES FROM SURFACES OF DISSIMILAR METALS.
0707. ROOF INSULATION SHALL BE 12" BATT R-30.
0716. BACKING FOR SEALED JOINTS, WHERE BACKING IS REQUIRED, SHALL BE CLOSED CELL NEOPRENE ROD OF DIAMETER REQUIRED TO FORM FRICTION SURFACE AT SIDES OF OPEN JOINT.

DIVISION – DOORS & WINDOWS

0814. HOLLOW METAL DOOR FRAMES SHALL BE PRIME QUALITY HOT-ROLLED SHEET CARBON STEEL CS 242 OR PS 4, 16 GA., HOT-DIPPED GALVANIZED PRIOR TO FABRICATION, WITH BAKED-ON COAT OF GRAY SYNTHETIC PRIMER. FURNISHED LABELED FRAMES AS REQUIRED. FRAMES SHALL BE SINGLE PIECE WITH CORNERS MITERED AND FULLY ELECTRIC-WELDED.
0815. HOLLOW METAL DOORS : 18 GA. GALVANIZED, COLD-ROLLED STRETCHER LEVELED STEEL WITH BAKED-ON COAT OF GRAY SYNTHETIC PRIMER. STEEL-REINFORCED MINERAL ROCK WOOL OR FIBERGLASS CORE RESISTANT TO VERMIN, FUNGUS, BACTERIA, MOISTURE, MILDEW AND ROT.
0816. HOLLOW METAL DOOR FRAMES SHALL HAVE THREE ANCHORS MINIMUM PER JAMB, STANDARD DESIGN FOR WALL TYPE TO ENTIRE FRAME.
0817. HOLLOW METAL DOOR EDGES SHALL BE WELDED AROUND ENTIRE PERIMETER WITH NO SEAMS VISIBLE ON EDGES OR SURFACES OF DOORS. PROVIDE CONCEALED REINFORCEMENT FOR HARDWARE. DOORS SHALL BE FULLY PREPARED TO RECEIVE HARDWARE.
0818. METAL DOOR FRAMES SHALL RECEIVE RUBBER SILENCERS ; (3) PER JAMB AND (2) AT HEAD OF EACH LEAF.
0820. SOILD CORE WOOD FLUSH DOORS SHALL BE PAINT GRADE BEACH OR BIRCH OF SOUND GRADE OR BETTER AND BE OF UNIFORM COLOR, WITHOUT DARK SPOTS OR STREAKS OR LARGE VARIATION IN GRAIN BETWEEN VENEERS, UNLESS MATCHED.
0821. WOOD DOORS SHALL BE STORED IN CLEAN, DRY SPACE. PROTECT FINISHED SURFACES FROM SOILING AND STAINING.
0822. WOOD DOORS SHALL BE GUARANTEED AGAINST WARPAGE FOR ONE YEAR. GLUE LINES AND MATERIALS SHALL BE GUARANTEED FOR TWO YEARS.
0824. BEFORE ANY HARDWARE IS PREPARED, SUBMIT TO THE ARCHITECT FOR APPROVAL A HARDWARE SCHEDULE SHOWING EACH DIFFERENT ITEM OF HARDWARE TO BE FURNISHED. SUBMIT FOUR COPIES. THIS PROVISION IS A CONTRACT REQUIREMENT.
0830. ALL LOCKS AND KEYS SHALL BE UNDER ONE MASTER KEY SYSTEM. CO-ORDINATE WITH OWNER.

DIVISION 9 – FINISHES

0903. PORTLAND CEMENT PLASTER APPLICATIONS SHALL CONFORM TO THE FOLLOWING : MATERIALS SHALL CONSIST OF ASTM C150 TYPE I PORTLAND CEMENT, ASTM C206 OR ASTM C207 TYPE "S" LIME, ASTM C 897 MANUFACTURED OR NATURAL SAND. MIXES SHALL CONFORM TO ASTM C 926. BONDING AGENT SHALL COMPLY WITH ASTM C 932.
0904. TWO-COAT CEMENT PLASTER SHALL BE APPLIED OVER CONCRETE MASONRY UNITS AND CONCRETE AND HAVE 5/8" TOTAL THICKNESS. THREE-COAT CEMENT PLASTER SHALL BE APPLIED OVER 3/8" FELT-BACKED GALVANIZED 3.4 LB. DIAMOND MESH METAL LATH. PROVIDE ACCESSORIES AS SPECIFIED HEREIN, AND INSTALL IN ACCORDANCE WITH ASTM C926. PROVIDE CASING BEADS AT TERMINATION OF PLASTER WORK. INSTALL PLASTER EXPANSION JOINTS TO COINCIDE WITH ARCHITECTURAL FEATURES AND AS INDICATED ON DRAWINGS.
0906. ALL CEMENT PLASTER ON MASONRY OR LATH SHALL BE INSTALLED WITH THE FOLLOWING ACCESSORIES ;
CORNER BEAD
CASING BEAD
EXPANSION JOINT
CONTROL JOINT
OTHER ACCESSORIES WHICH MAY BE APPROPRIATE OR REQUIRED.
ALL ACCESSORIES SHALL BE SOLID ZINC ALLOY MANUFACTURED BY AMICO (1-800-366-2642). GALVANIZED ACCESSORIES WILL NOT BE ACCEPTED.
PLASTIC ACCESSORIES WILL BE ALLOWED AS AN ALTERNATE UPON APPROVAL BY ARCHITECT. SUBMIT SAMPLE TO ARCHITECT FOR APPROVAL.
0930. ALL INTERIOR GYPSUM WALLBOARD UNLESS NOTED SHALL RECEIVE TWO COATS VINYL-ACRYLIC LATEX OVER MANUFACTURER'S RECOMMENDED PRIMER OVER LIGHT ORANGE PEEL TEXTURE. PROVIDE SEMIGLOSS SHEEN.
0931. ALL INTERIOR WOOD SURFACES TO RECEIVE PAINTED FINISH SHALL BE FINISHED WITH TWO COATS OF VINYL-ACRYLIC LATEX SEMI-GLOSS ENAMEL OVER MANUFACTURER'S RECOMMENDED PRIMER.
0932. INTERIOR CONCRETE MASONRY TO BE PAINTED SHALL RECEIVE TWO COATS SEMI GLOSS SHEEN VINYL-ACRYLIC LATEX OVER VINYL-ACRYLIC LATEX BLOCK SEALER.
0937. PREPARE ALUMINUM SURFACES TO BE PAINTED WITH THINNER AND METAL PREPARATION, WIPE CLEAN WITH ZYLENE. PAINT WITH ONE COAT OF ZINC CHROMATE PRIMER AND TWO COATS OF 100% ACRYLIC EXTERIOR ENAMEL.
0938. ALL SURFACES TO BE PAINTED SHALL BE IN PROPER CONDITION TO RECEIVE FINISH. PRIOR TO PAINTING, REMOVE OR AMPLY PROTECT HARDWARE, ACCESSORIES, PLATES, LIGHTING FIXTURES, AND SIMILAR ITEMS. REINSTALL THESE ITEMS WHEN PAINTING IS COMPLETE. IF NECESSARY, REMOVE AND REPLACE DOORS TO PAINT TOP & BOTTOM DOOR EDGES.
0940. WOOD SURFACES SCHEDULED TO RECEIVE PAINT OR STAIN SHALL BE IN PROPER CONDITION TO RECEIVE FINISH. WOODWORK SHALL BE HAND SANDPAPERED AND DUSTED CLEAN. ALL KNOT HOLES, PITCH POCKETS, OR SAPPY PORTIONS SHALL BE SEALED WITH KNOT SEALER. NAIL HOLES, CRACKS, OR DEFECTS SHALL BE CAREFULLY PUTTIED AFTER FIRST COAT WITH PUTTY MATCHING COLOR OF STAIN OR PAINT. INTERIOR WOODWORK FINISHES SHALL BE SANDED BETWEEN COATS.
0944. PAINT SHALL BE APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS FOR EACH TYPE OF PAINT AND APPLICATION.

DIVISION 10 – SPECIALTIES

1001. MINIMUM 6" ADDRESS NUMBERS SHALL BE DISPLAYED ON BUILDING IN CONTRASTING COLORS. (FIELD VERIFY WITH OWNER).
1004. PROVIDE WALL MOUNTED, DRY CHEMICAL TYPE, ABC RATED 10 LB. CAPACITY FIRE EXTINGUISHERS WITH PRESSURE GAGES. FIRE EXTINGUISHERS SHALL BE BRACKET MOUNTED.

DIVISION 15 – MECHANICAL

1501. PLUMBING CONTRACTOR SHALL COORDINATE LOCATION OF ALL UNDERGROUND LINES WITH OTHER APPLICABLE TRADES.
1502. BRANCH WATER LINES TO ALL FIXTURE GROUPS WITH 1/2" FINAL CONNECTION AT EACH FIXTURE.
1503. PLUMBING PLAN IS SCHEMATIC AND SHALL NOT BE LIMITED TO ITEMS SHOWN. ALL MATERIALS AND LABOR REQUIRED TO PROVIDE A COMPLETE WATER AND SEWER SYSTEM IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES SHALL BE SUPPLIED AND INSTALLED.
1506. DOMESTIC WATER SYSTEM PIPING SHALL BE DISINFECTED PER FLORIDA BOARD OF HEALTH AND OTHER REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
1507. WATER HEATERS SHALL HAVE DRAIN PAN AND BLOW OFF LINE TO EXTERIOR.
1508. ALL EXPOSED HOT WATER LINES SHALL BE INSULATED WITH "ARMAFLEX".
1509. UNDERGROUND WATER AND SEWER PIPING SHALL BE SEPARATED BY NOT LESS THAN 10 FEET HORIZONTALLY IF WATER PIPING IS INSTALLED AT THE SAME LEVEL OR LOWER THAN SEWER PIPING. WHERE WATER PIPING IS CLOSER THAN 10 FEET TO SEWER LINE, THE BOTTOM OF THE WATER PIPE SHALL BE PLACED 12 INCHES ABOVE THE TOP OF THE SEWER PIPE.
1510. ALL PVC LINES SHALL BE SCHEDULE 40, CONFORMING TO ASTM D-1784-60T, AND MAY BE USED FOR SANITARY SEWERS, STORM DRAINAGE, AND FOR DOMESTIC WATER LINES OUTSIDE OF BUILDING LIMITS.
1511. JOINTS IN PVC PIPING SHALL BE JOINED WITH SOLVENT CEMENT PER ASTM D-2235.
1512. ALL JOINTS AND CONNECTIONS SHALL BE MADE PERMANENTLY AIR AND WATER TIGHT.
1513. PROVIDE CHROMIUM PLATED BRASS ESCUTCHEONS AT EACH LOCATION THAT A PIPE PASSES THROUGH A FINISHED SURFACE.
1514. FURNISH AND INSTALL SLEEVES AT ALL LOCATIONS WHERE PIPES PASS THROUGH WALLS AND PARTITIONS. SLEEVES SHALL BE PROPERLY SET IN WALLS AND BE 3" LARGER IN INSIDE DIAMETER THAN PIPE PASSING THROUGH. LENGTHS OF SLEEVES SHALL MATCH TOTAL WALL THICKNESS. WHERE PIPE PASSES THROUGH FLOORS ON FILL, CAULK WITH POLYSULFIDE SEALANT (PRC-5000 BY PRODUCT RESEARCH AND CHEMICAL COMPAN).
1515. ALL TRAPS SHALL BE SELF-CLEANING AND SHALL NOT DEPEND ON MOVABLE PARTS OR CONCEALED INTERIOR PARTITIONS TO MAINTAIN SEAL.
1516. PLACE CLEANOUTS 50 FEET APART. MAXIMUM INTERIOR HORIZONTAL RUN, AND 75 FEET APART. MAXIMUM EXTERIOR RUN, WHETHER OR NOT SUCH IS SHOWN ON DRAWINGS. CLEANOUTS SHALL BE EASILY ACCESSIBLE, FLUSH WITH FLOOR FINISH, AND SUITED TO HEAVY TRAFFIC.
1517. ALL VENT AND BRANCH VENT PIPING SHALL BE FREE OF DROPS AND SAGS, AND SHALL BE GRADED AND CONNECTED SO AS TO DRIP BACK TO THE VENTED SOIL OR WASTE LINES BY GRAVITY.
1518. PROVIDE APPROVED, APPROPRIATELY SIZED VACUUM BREAKER AND GATE VALVE AT DOMESTIC WATER SERVICE ENTRANCE.
1519. PROVIDE KEYED HOSE BIBB AND VACUUM BREAKERS AT ALL LOCATIONS MARKED ON DRAWINGS.

DIVISION 16 – ELECTRICAL

1605. ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED COMPLETE WITH ALL COMPONENTS.
1606. ALL WIRING AND GROUNDING SHALL BE COPPER.
1607. CONTRACTOR SHALL SUBMIT WRITTEN REQUEST FOR EXTENSION OF ELECTRICAL SERVICE TO FLORIDA POWER AND LIGHT.
1608. ALL SERVICE EQUIPMENT SHALL BE APPROVED BY POWER COMPANY.
1609. CONTRACTOR SHALL OBTAIN ALL INSPECTIONS AS REQUIRED.
1610. ALL EQUIPMENT SHALL BE NEW UNLESS OTHERWISE INDICATED.
1611. OUTLET BOXES SHALL BE 4" OCTAGONAL OR SQUARE GALVANIZED.
1613. WIRING DEVICES :
SWITCHES : LEVITON # 5501 SERIES
RECEPTACLES : LEVITON # 1215
BACKLITE PLATES : COLOR AS SELECTED BY OWNER
1615. PROVIDE PULL WIRE IN ALL EMPTY CONDUITS.
1618. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL A BONDED ELECTRODE IN ALL NEW CONCRETE FOUNDATIONS. ELECTRODE SHALL BE BONDED WITH ALL OTHER BUILDING ELECTRODES TO FORM A COMPLETE GROUNDING ELECTRODE SYSTEM.
1621. ALL EQUIPMENT SHALL BE SIZED FOR PROPER AMPERAGE AND INTERRUPTING RATINGS.
1623. ALL WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH LATEST EDITION OF NATIONAL ELECTRICAL CODE AS AMENDED BY LOCAL ORDINANCES AND AUTHORITIES HAVING JURISDICTION.
1624. PROVIDE SHOP DRAWINGS FOR ALL FIXTURES, SERVICES, EQUIPMENT AND PANELBOARDS REQUIRED.
1626. ALL EXIT LIGHTS AND EMERGENCY LIGHTING UNITS SHALL BE EQUIPPED WITH EMERGENCY POWER IN ACCORDANCE WITH NFPA 70 (NATIONAL
1629. ELECTRIC CODE, & ALL APPLICABLE LOCAL CODES AND ORDINANCES). FIRE ALARM SYSTEM SHALL MEET ALL REQUIREMENTS OUTLINED IN NFPA 70.

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REVISIONS



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